



Board Report

File #: 2021-0285, File Type: Agreement

Agenda Number: 5.

FINANCE, BUDGET, AND AUDIT COMMITTEE JUNE 16, 2021

SUBJECT: REAL ESTATE AGREEMENTS WITH THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA (MWD) FOR SECURITY IMPROVEMENTS AROUND MWD COURTYARD AND HEADQUARTERS BUILDING AT UNION STATION

ACTION: APPROVE RECOMMENDATIONS

RECOMMENDATION

CONSIDER:

- A. AUTHORIZING the Chief Executive Officer (CEO) or their designee to execute an easement to The Metropolitan Water District of Southern California (MWD) in which the Los Angeles County Metropolitan Transportation Authority (LACMTA) agrees to grant to MWD, and take all necessary steps to record, certain "Real Estate Interests" in the LACMTA-owned property located at the southernmost end of Union Station adjacent to MWD-owned property ("Permanent Easement"); and
- B. AUTHORIZING the CEO or their designee to execute a Second Amendment to the Agreement and Declaration of Covenants, Conditions, and Restrictions (CC&Rs) recorded on May 31, 1996 between MWD and Catellus Development Corporation.

ISSUE

In February 2018, MWD's Board authorized final design of the physical security improvements to MWD headquarters. To expedite completion of the most critical upgrades, the upgrade work was prioritized and staged. Stage 1 upgrades improved exterior surfaces. Stage 2 upgrades enhanced access control and interior security protection. Stage 3 improvements will enhance perimeter security.

For MWD to move forward with stage 3 of MWD headquarter physical security improvements, MWD requires LACMTA to grant a Permanent Easement and amend the current CC&Rs for Union Station.

BACKGROUND

MWD acquired its headquarters site in 1996, which predates LACMTA's acquisition in 2011. In 1996 easements were granted to MWD for the roadway, utility, north sewer and storm drain. During the

same year, CC&Rs were established between Catellus Development Corporation and MWD to ensure that the properties were developed, used and maintained as a high quality, unified development and to establish certain reciprocal rights for uses of common areas.

The MWD Headquarters Building is a 522,682 square-foot, concrete-frame structure consisting of a 12-story high-rise tower attached to a five-story wing. The building is located next to the Union Station transportation hub. The business functions located in this building are critical for maintaining the continuity of MWD's day-to-day operations. The Headquarters Building includes office space for approximately 840 MWD staff and meeting space for the Board of Directors and members of the public. MWD began occupying the Headquarters Building in 1998.

A threat and physical security assessment of the Headquarters Building was completed by MWD consultants in 2016. This assessment recommended the addition of several physical features to enhance the building's perimeter security, access control, and interior security protection systems. These recommendations are in conformity with best security practices for government buildings as stated in guidelines provided by the U.S. Department of Homeland Security. The recommended features to be added in a multi-phased approach include additional cameras, sensors and barriers, improved access control, and improved communication systems. Stage 3 improvements will enhance perimeter security along the exterior of the MWD site and courtyard and require real property rights from LACMTA.

DISCUSSION

Temporary fencing was installed around the MWD courtyard in 2018. MWD is now finalizing phase 3 of their security project which includes permanent physical security enhancements to the MWD courtyard and front entrance to the MWD HQ building. Permanent fencing will eventually replace the current temporary fencing. The transition is expected to be seamless as temporary fencing will remain up until the new permanent fencing is installed.

The permanent fencing design proposed will include four gates total, three main access gates and one after-hours gate. All gates will remain opening during business hours, except during lunch hours. During lunch hours, visitors will still have access to MWD cafeteria and courtyard through the West Visitors' entrance. Gates will be closed and locked after business hours. In addition to fencing, 23 bollards (10 stationary, 13 removable) are proposed to be installed throughout the easement. All fencing and bollards are subject to LACMTA standard guidelines and LACMTA will be given a set of keys to unlock the new removable bollards. The location of the improvements is depicted as Option 1 on Attachment A and further depicted in Attachments B, C and D.

Permanent Easement

The above-described improvements require a permanent easement of 1,148 square feet for MWD to install, construct, maintain, repair, replace, reconstruct and operate fences, gates and bollards.

The easements are mutually beneficial and in conformity with best security practices for government buildings as stated in guidelines provided by the U.S. Department of Homeland Security. Staff proposes to provide them at no charge to MWD. The fees for temporary rights during construction were waived by LACMTA.

Description of Amendment to Union Station CC&Rs

A second amendment to the CC&Rs is required to allow the closure of MWD's courtyard during lunch hours and after business hours. Currently, the CC&Rs allow partial closure of the courtyard during lunch hours.

Equity Platform

This addresses LACMTA's equity platform by focusing and delivering improvements, management and organized use of MWD plaza on Union Station property for the safety of businesses and transit customers.

DETERMINATION OF SAFETY IMPACT

This project will increase safety throughout plaza areas at Union Station.

FINANCIAL IMPACT

There is no financial impact to LACMTA. All construction and maintenance costs for fence, gates and bollards shall be borne by MWD.

Impact to Budget

No impact to budget

IMPLEMENTATION OF STRATEGIC PLAN GOALS

The recommendation supports strategic plan Goal 2: Outstanding trip experience for all users of the transportation system. 2.1 Metro is committed to improving security. Action: Explore and implement prevention tactics, promote prevention as a first measure to reduce frequency and severity of crimes.

ALTERNATIVES CONSIDERED

The Board could choose not to approve the recommendations. This is not recommended as it will hamper safety and security improvements at the MWD Plaza.

NEXT STEPS

Once the easement is granted, recorded and the CC&Rs are updated, MWD will obtain its building permits to construct the MWD Project.

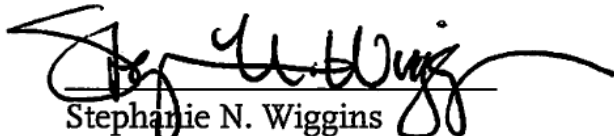
ATTACHMENTS

Attachment A - Fencing Plan & Alternatives
Attachment B - Fence Design and Bollard Look
Attachment C - Design Plan
Attachment D - Proposed Easement Map

Prepared by: Ken Pratt, DEO, Countywide Planning & Development, (213) 922-6288

John Potts, Executive Officer, Countywide Planning & Development, (213) 928-3397
Holly Rockwell, SEO - Real Estate, Transit Oriented Communities and Transportation
Demand Management, (213) 922-5585

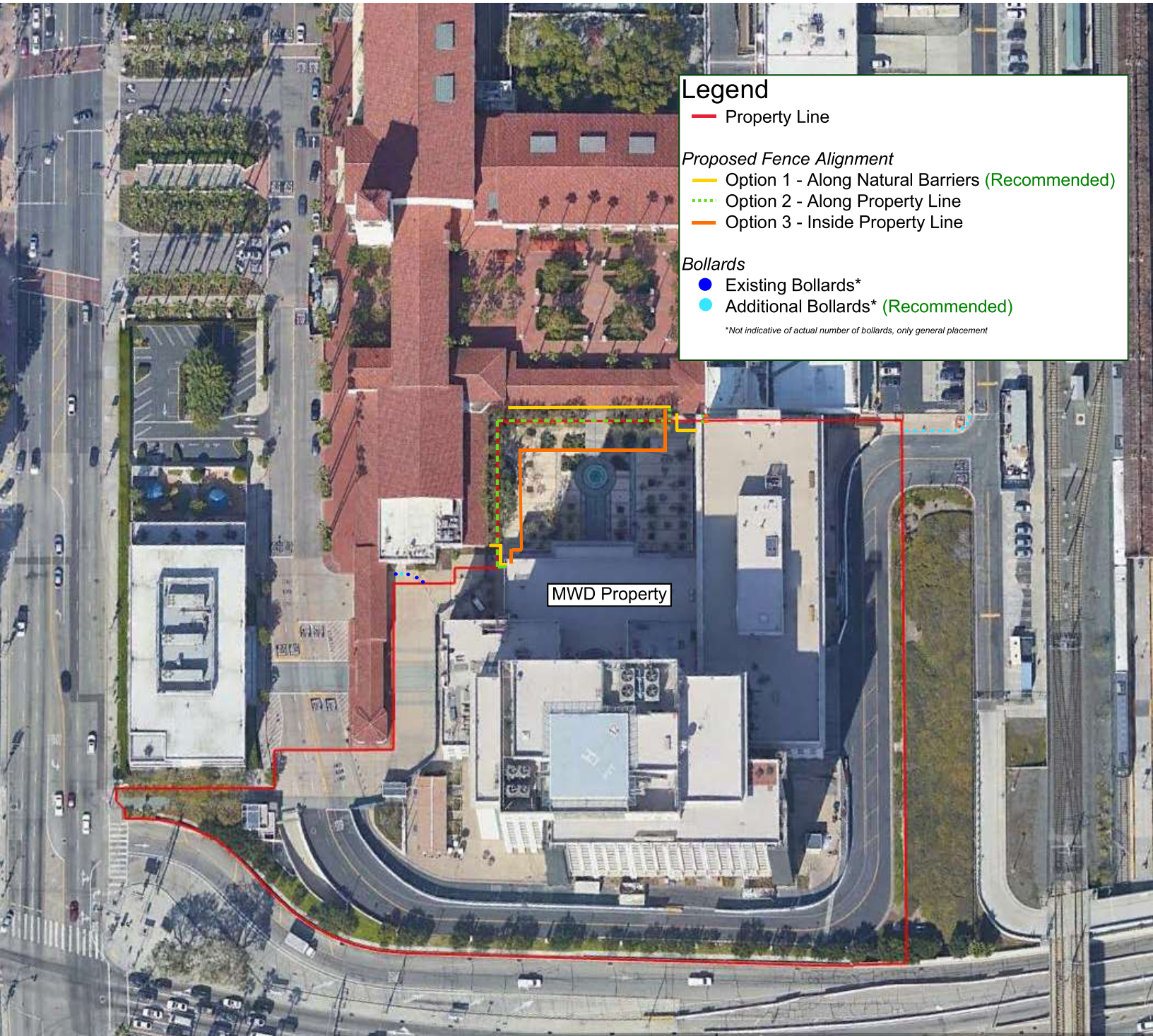
Reviewed by: James de la Loza, Chief Planning Officer, (213) 922-2920



Stephanie N. Wiggins
Chief Executive Officer

ATTACHMENT A

Fencing Plan & Alternatives



Legend

— Property Line

Proposed Fence Alignment

— Option 1 - Along Natural Barriers (Recommended)

.... Option 2 - Along Property Line

— Option 3 - Inside Property Line

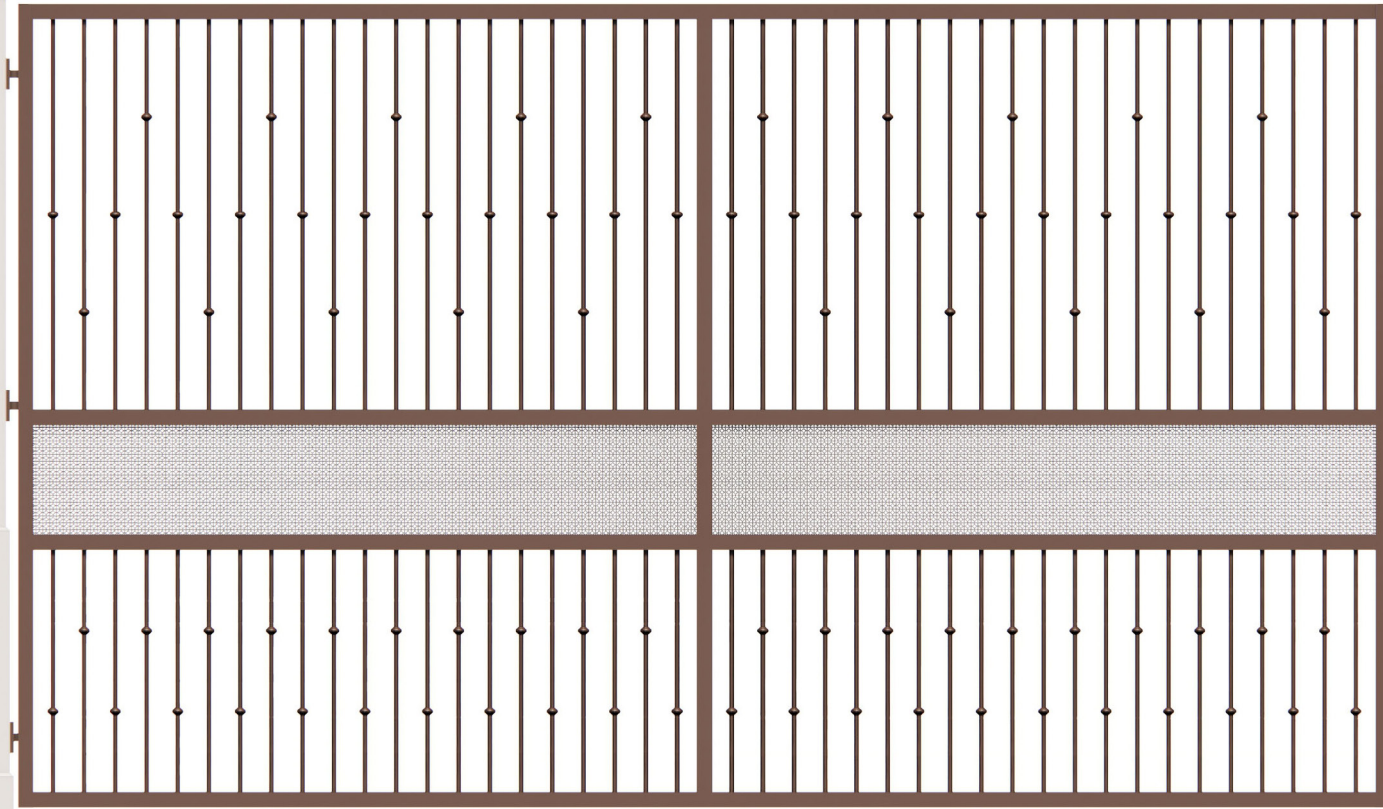
Bollards

● Existing Bollards*

● Additional Bollards* (Recommended)

*Not indicative of actual number of bollards, only general placement

ATTACHMENT B
Fence Design and Bollard Look



Typical Fence Elevation at Arcade

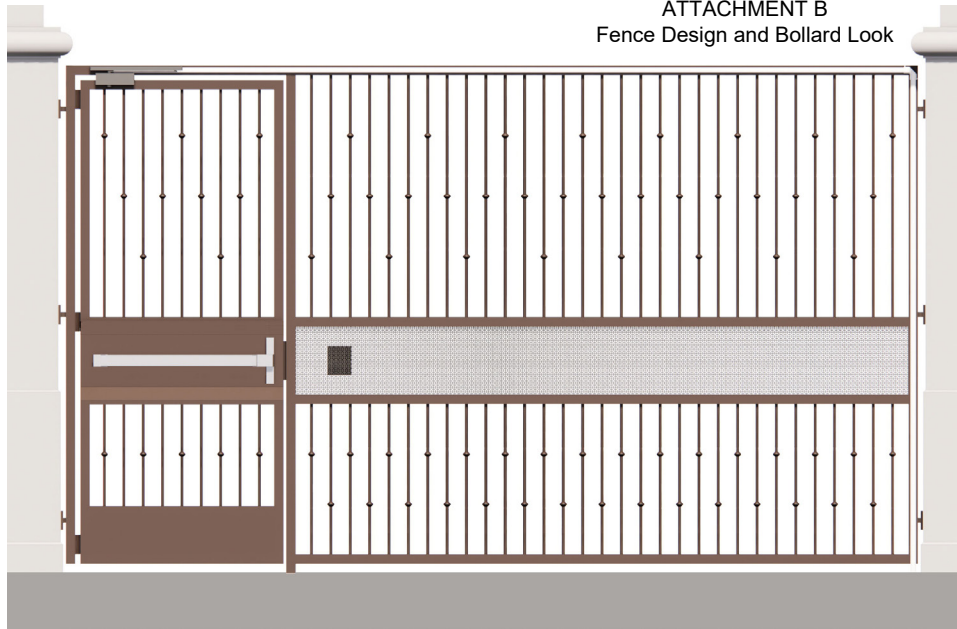
Ornamental Fence Design

Headquarters Building Exterior Physical Security Improvements
116535

2021/01/28



ATTACHMENT B
Fence Design and Bollard Look



Single Gate Elevation



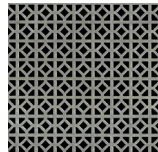
Short Fence Elevation



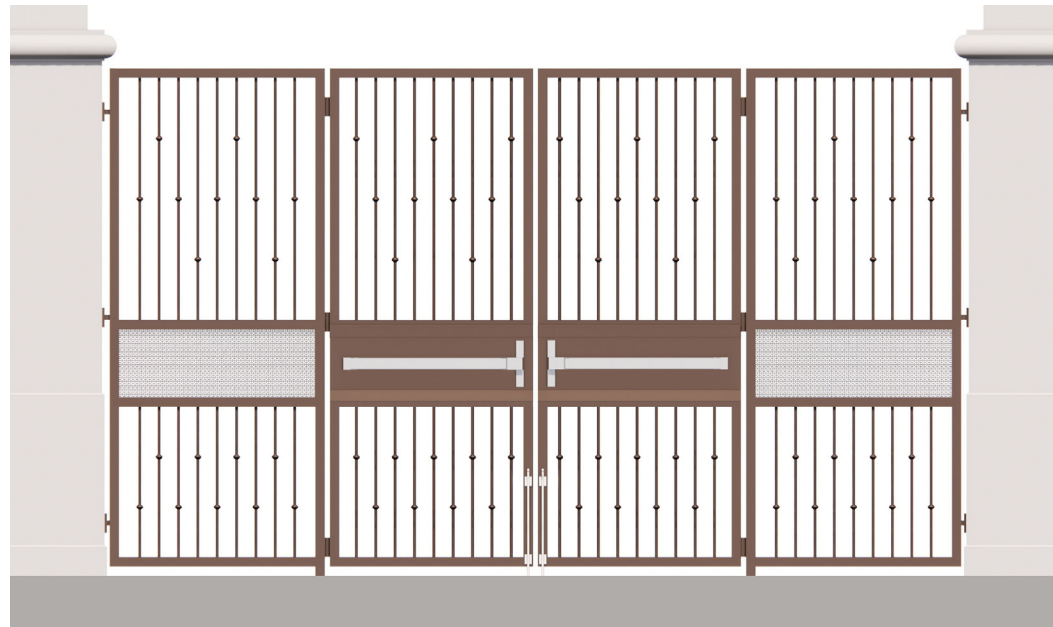
5/8" pickets



1-1/2"W x
1"H



Perforated
Metal Panel



Double Gate Elevation

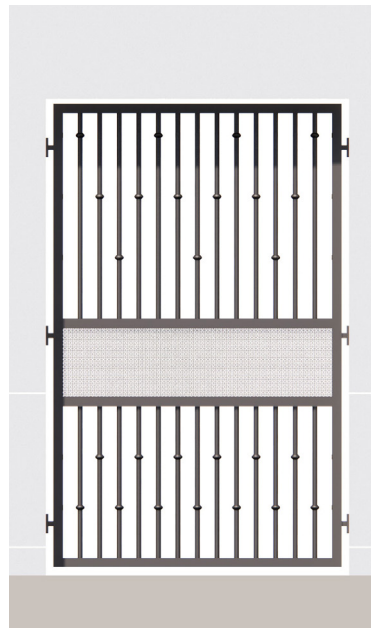
Ornamental Fence Design

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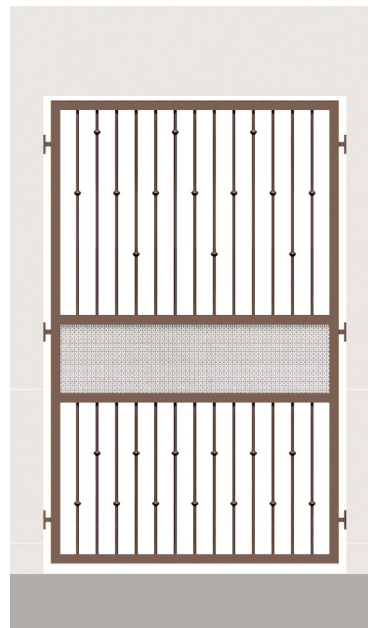
ATTACHMENT B
Fence Design and Bollard Look



Picket Design Option 2



Picket Design Option 3



**Combination
Fence Color: Brown
(Recommended)**

Ornamental Fence Design

Headquarters Building Exterior Physical Security Improvements
116535

2021/01/28



Stainless Steel Bollard Designs



Domed Stainless Steel
(Recommended)



Modern Stainless Steel

ATTACHMENT C
Design Plan



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HEADQUARTERS BUILDING
PHYSICAL SECURITY IMPROVEMENTS

PROJECT
HEADQUARTERS BUILDING
EXTERIOR
PHYSICAL
SECURITY
IMPROVEMENTS

SPECIFICATION NO.: 2003
PROJECT NUMBER: 105168
DRAWING NUMBER:
APPROVAL SHEET NO.:

ADDRESS:
700 N. ALAMEDA ST.
LOS ANGELES, CA 90012

REVISIONS:

DELTA	TITLE	DATE	BY
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PROJECT TEAM

OWNER:
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FAX:
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PROJECT MANAGER

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IRVINE, CA 92602
PHONE: (714) 734-2583
FAX:
CONTACT: TRACY RICH
PROJECT MANAGER

CONFIDENTIAL METROPOLITAN INFORMATION

PM: GENERAL
PE:
SENIOR TECH. MGR.:
DRAWN BY: AO
SCALE:
DATE: 04/22/21
JOB NO.: 116535
SHEET TITLE:

COVER SHEET

SHEET NO.:

G0000



ATTACHMENT C
Design Plan

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PROJECT
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SPECIFICATION NO.: 2003
PROJECT NUMBER: 105168
DRAWING NUMBER:
APPROVAL SHEET NO.:
ADDRESS:
700 N. ALAMEDA ST.
LOS ANGELES, CA 90012

REVISIONS:
DELTA TITLE DATE BY
50% CHECKSET MARCH 2021 IBI

PM: ARCHITECTURAL
PE:
SENIOR TECH. MGR.: AO
DRAWN BY:
SCALE: As indicated
DATE: 04/22/21
JOB NO.: 116535
SHEET TITLE:

SITE PLAN

SHEET NO.:

A1100

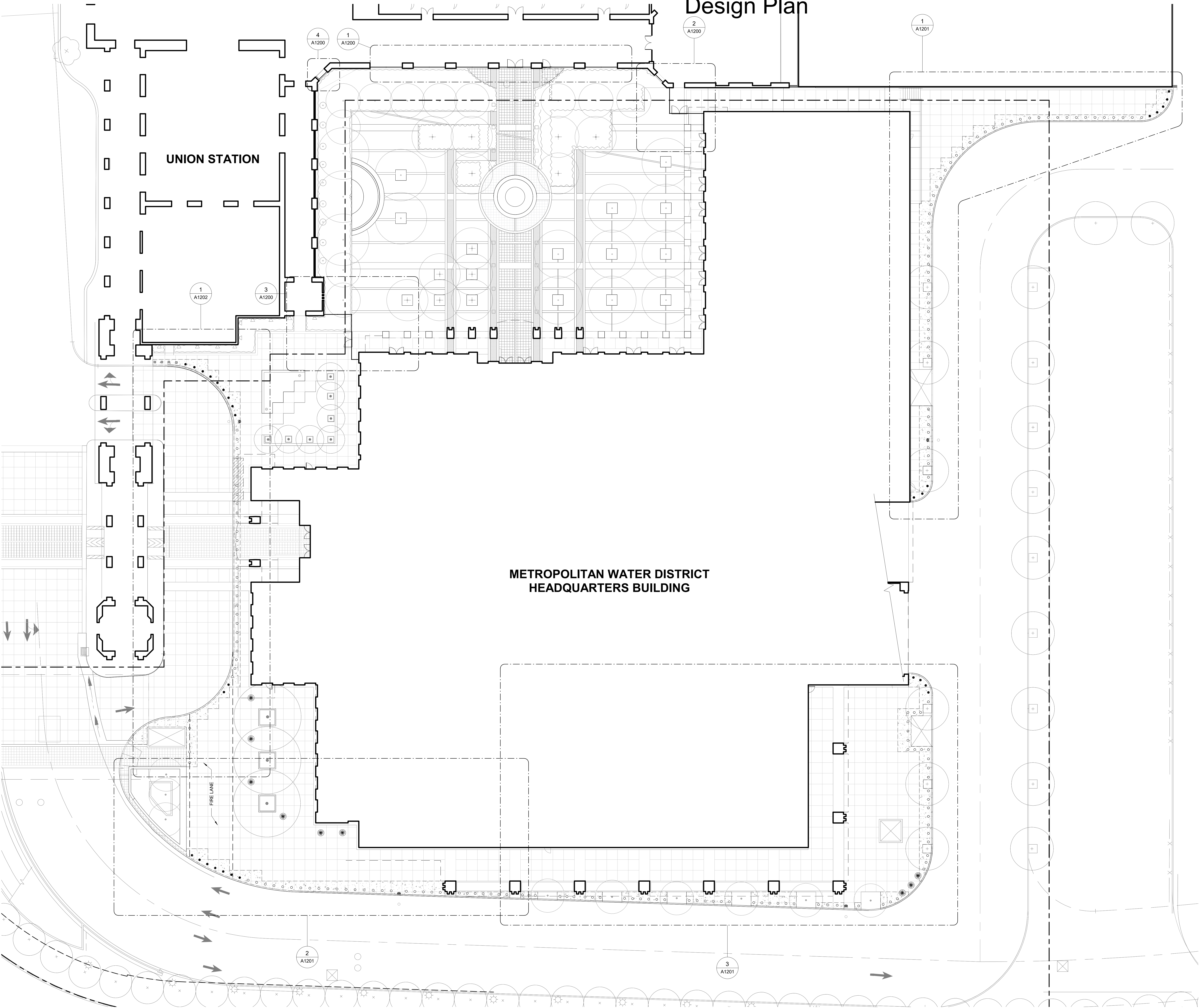
CONFIDENTIAL METROPOLITAN INFORMATION

1000-GENERAL NOTES

- PRIOR TO ANY UNDERGROUND SITE WORK, VERIFY LOCATION OF ALL EXISTING UTILITIES WITH UNDERGROUND SERVICE ALERT.
- BOLLARDS SHALL BE SPACED EQUIDISTANTLY SO THAT THE CLEAR DISTANCE BETWEEN BOLLARDS DOES NOT EXCEED 40". CENTER OF BOLLARD SHALL BE NO MORE THAN 24" FROM CURB LINE AND INSTALLED SUCH THAT THE TOP SURFACE IS LEVEL.
- MAINTAIN 3' - 0" CLEAR AROUND ALL (E) FIRE HYDRANTS, TYP.

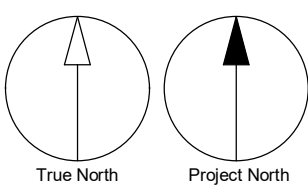
LEGEND

- ORNAMENTAL FENCE
PROPERTY LINE
FIRE DEPARTMENT ACCESS, WIDTH 20'-0"
- STAINLESS STEEL BOLLARD, SEE DETAIL 5/A8002
REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 7/A8002
REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 13/A8002
(E) RELOCATED PLANTER
PATCH AND REPAIR CONCRETE WALK TO NEAREST JOINT, SEE DETAIL 11/A8002
NATIVE SOIL BACKFILL O' CONDUIT TRENCH, SEE DETAIL 16/A8002



1 SITE PLAN
A1100 Scale: 1/16" = 1'-0"

0 8' 16' 32'



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ARCHITECTURAL

NAME: _____

SENIOR TECH. MGR.:

DRAWN BY: AO

SCALE: As indicated

DATE: 04/22/21

OB NO.: 116535

SHEET TITLE.:

SITE ENLARGED PLAN

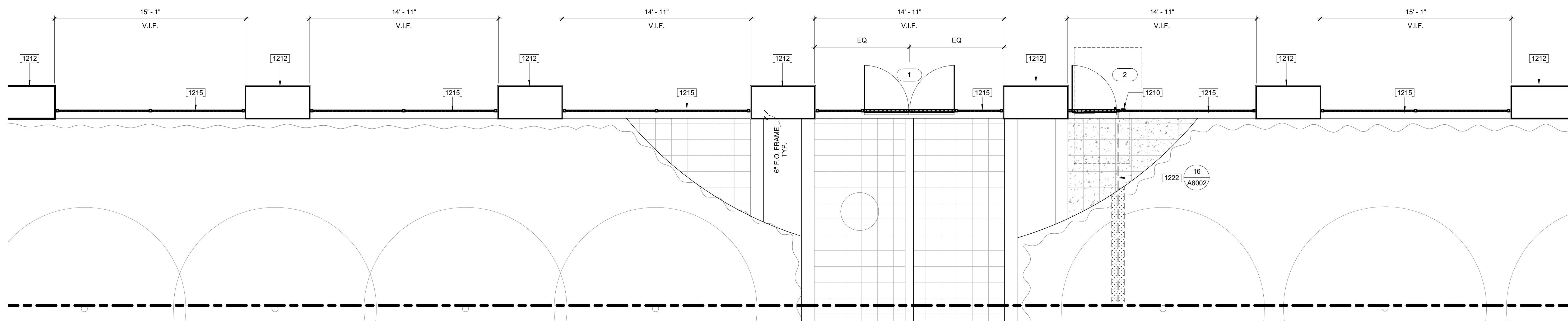
SITE ENLARGED PLAN -
ORNAMENTAL FENCE

ORNAMENTAL FENCE

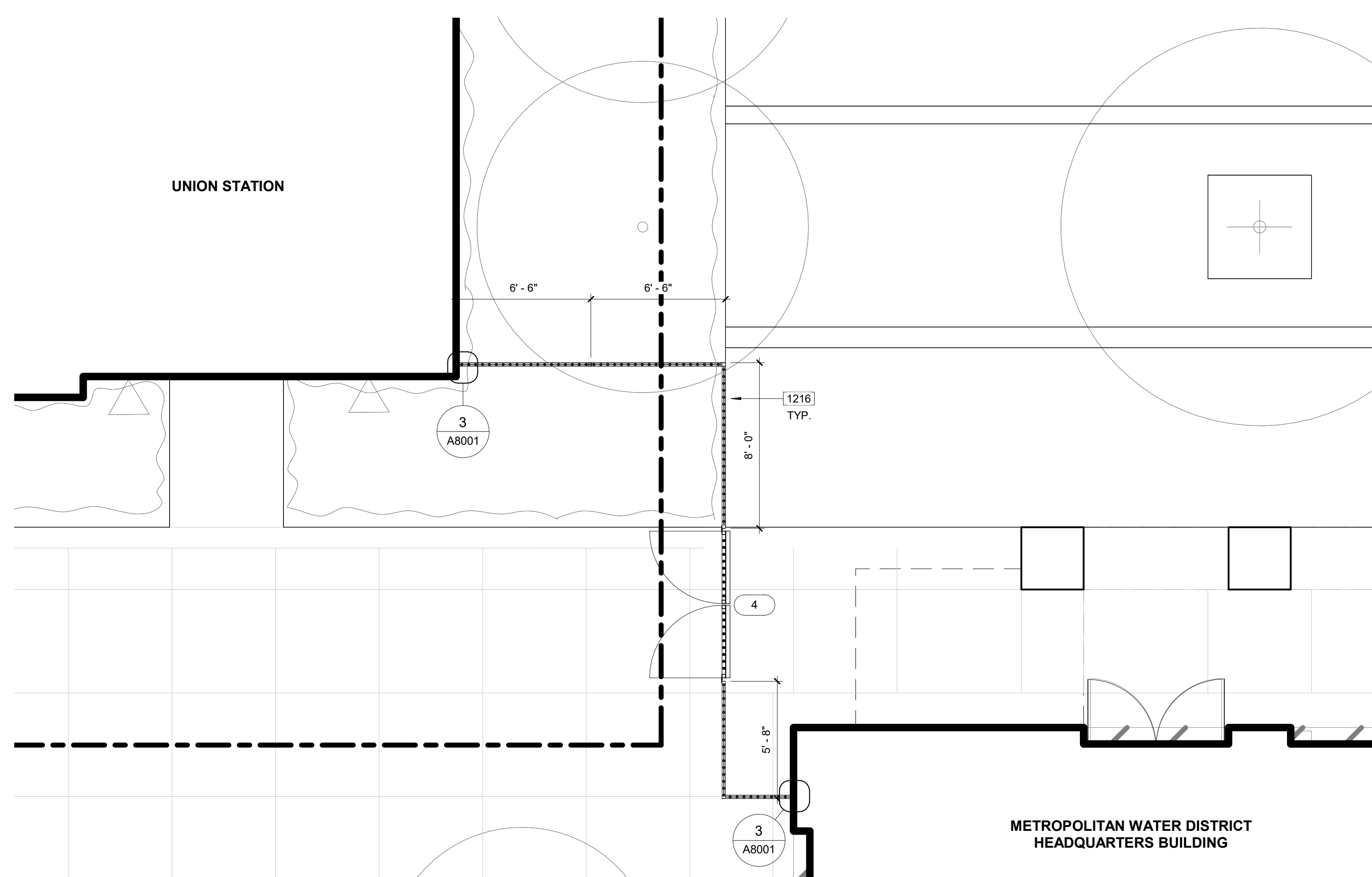
SHEET NO.: _____

A 1200

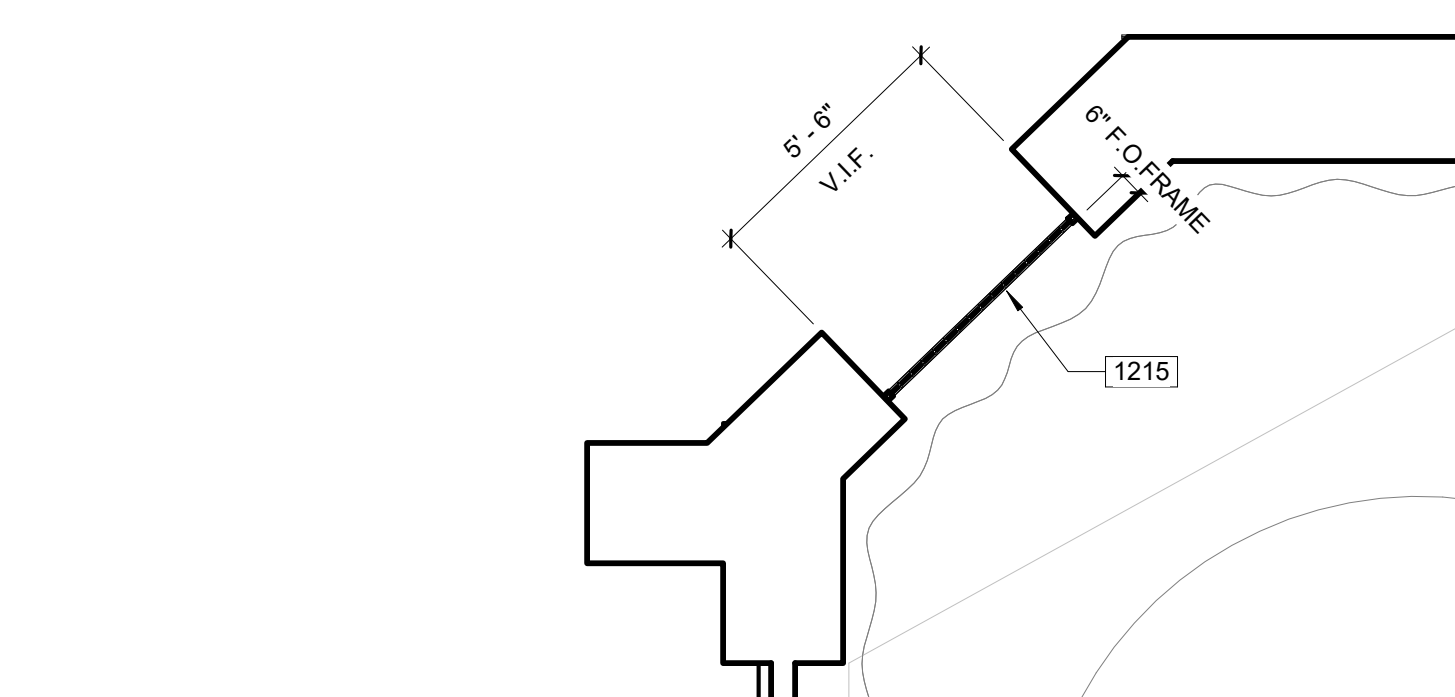
A1200



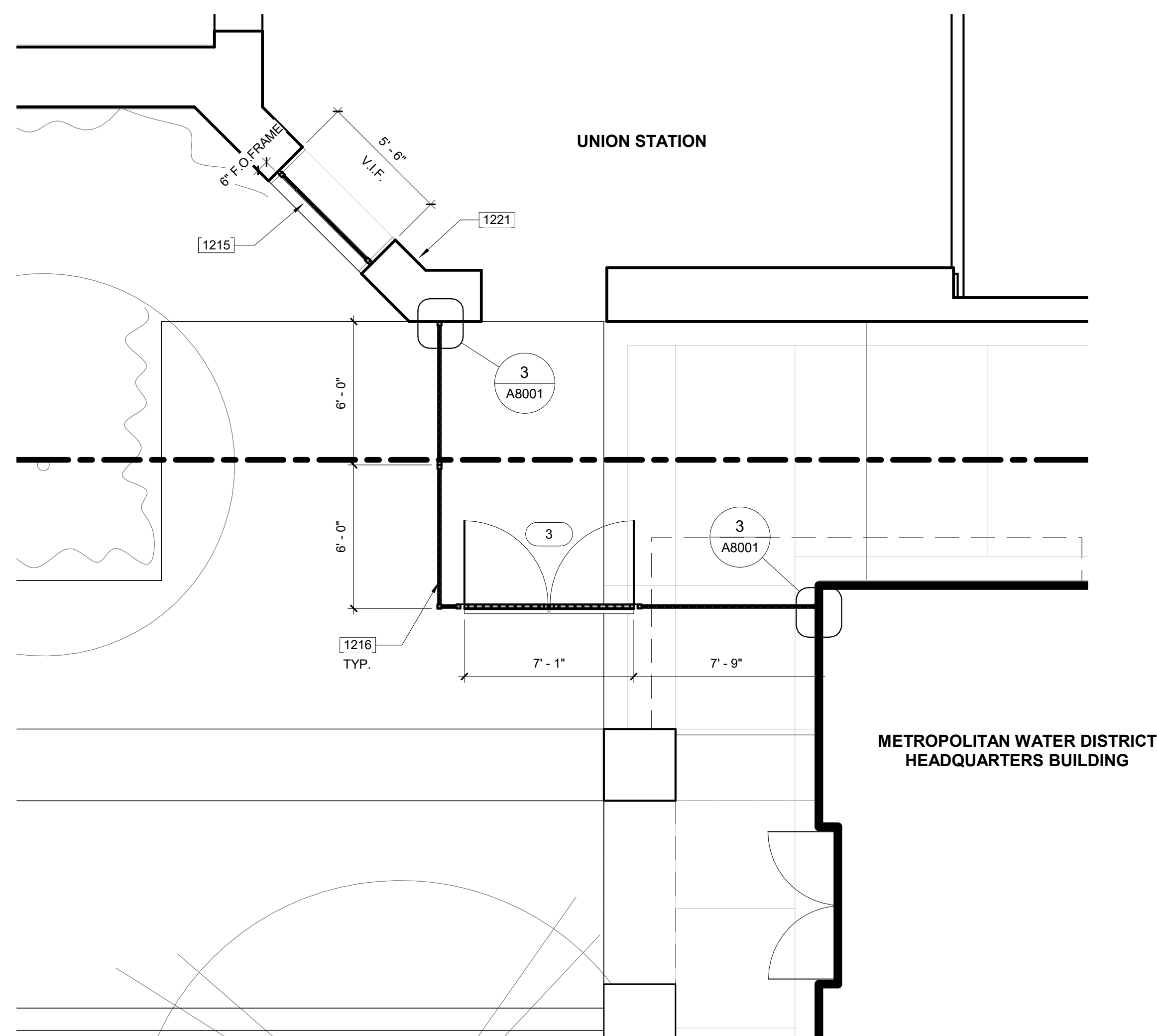
1 ENLARGED SITE PLAN - ORNAMENTAL FENCE NORTH
A1200 Scale: 1/4" = 1'-0"



3 ENLARGED SITE PLAN - ORNAMENTAL FENCE SOUTH
A1200 Scale: 1/4" = 1'-0"

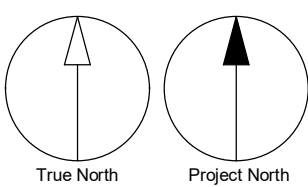


4 ENLARGED SITE PLAN - ORNAMENTAL FENCE NORTH WEST
A1200 Scale: 1/4" = 1'-0"



2 ENLARGED SITE PLAN - ORNAMENTAL FENCE WEST
A1200 Scale: 1/4" = 1'-0"

GATE SCHEDULE											
DOOR NO.	TYPE	MAT	FINISH	WIDTH	HEIGHT	HARDWARE	PANIC	SIGNAGE	DETAIL	REMARKS	DOOR NO.
1	AA			7'-0"	8'-9"		Yes		18/A8001		1
2	BB			3'-6"	8'-4"		Yes		17/A8001		2
3	AA			7'-0"	8'-9"		Yes		18/A8001		3
4	AA			7'-0"	8'-9"		Yes		18/A8001		4



CONFIDENTIAL METROPOLITAN INFORMATION

A1200

ATTACHMENT C
Design Plan

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PM:	ARCHITECTURAL
PE:	SENIOR TECH. MGR.:
DRAWN BY:	AO
SCALE:	As indicated
DATE:	04/22/21
JOB NO.:	116535
SHEET TITLE:	

ENLARGED SITE PLANS -
PHYSICAL SECURITY

SHEET NO.:

A1201

CONFIDENTIAL METROPOLITAN INFORMATION

1000-GENERAL NOTES

- PRIOR TO ANY UNDERGROUND SITE WORK, VERIFY LOCATION OF ALL EXISTING UTILITIES WITH UNDERGROUND SERVICE ALERT.
- BOLLARDS SHALL BE SPACED EQUIDISTANTLY SO THAT THE CLEAR DISTANCE BETWEEN BOLLARDS DOES NOT EXCEED 40". CENTER OF BOLLARD SHALL BE NO MORE THAN 24" FROM CURB LINE AND INSTALLED SUCH THAT THE TOP SURFACE IS LEVEL.
- MAINTAIN 3' - 0" CLEAR AROUND ALL (E) FIRE HYDRANTS, TYP.

1100 - KEYNOTES

- 1201 STAINLESS STEEL BOLLARD
1202 STAINLESS STEEL REMOVABLE BOLLARD
1203 (E) PLANTER
1204 (E) FIRE HYDRANT. MAINTAIN 3'-0" CLEAR AROUND
1205 (E) CURB LINE
1206 RELOCATED (E) PLANTER. SPACE AT 40" CLR. MAX. 18" FROM CURB LINE
1213 (E) SIGNAGE. REMOVE AND REPLACE AS REQUIRED FOR NEW WORK
1218 (E) CONCRETE CURB

LEGEND

- ***** ORNAMENTAL FENCE
--- PROPERTY LINE
--- FIRE DEPARTMENT ACCESS. WIDTH 20'-0"
o STAINLESS STEEL BOLLARD. SEE DETAIL 5/A8002
• REMOVABLE STAINLESS STEEL BOLLARD. SEE DETAIL 7/A8002
REMOVABLE STAINLESS STEEL BOLLARD. SEE DETAIL 13/A8002
⊙ (E) RELOCATED PLANTER
[Pattern] PATCH AND REPAIR CONCRETE WALK TO NEAREST JOINT. SEE DETAIL 11/A8002
[Pattern] NATIVE SOIL BACKFILL OF CONDUIT TRENCH. SEE DETAIL 16/A8002
○ 60" DIA. ACCESSIBLE FLOOR SPACE LOCATION
□ 30" X 48" ACCESSIBLE FLOOR SPACE LOCATION
□ 60" X 60" ACCESSIBLE FLOOR SPACE LOCATION

1 SITE PLAN

A1201 Scale: 1/8" = 1'-0"

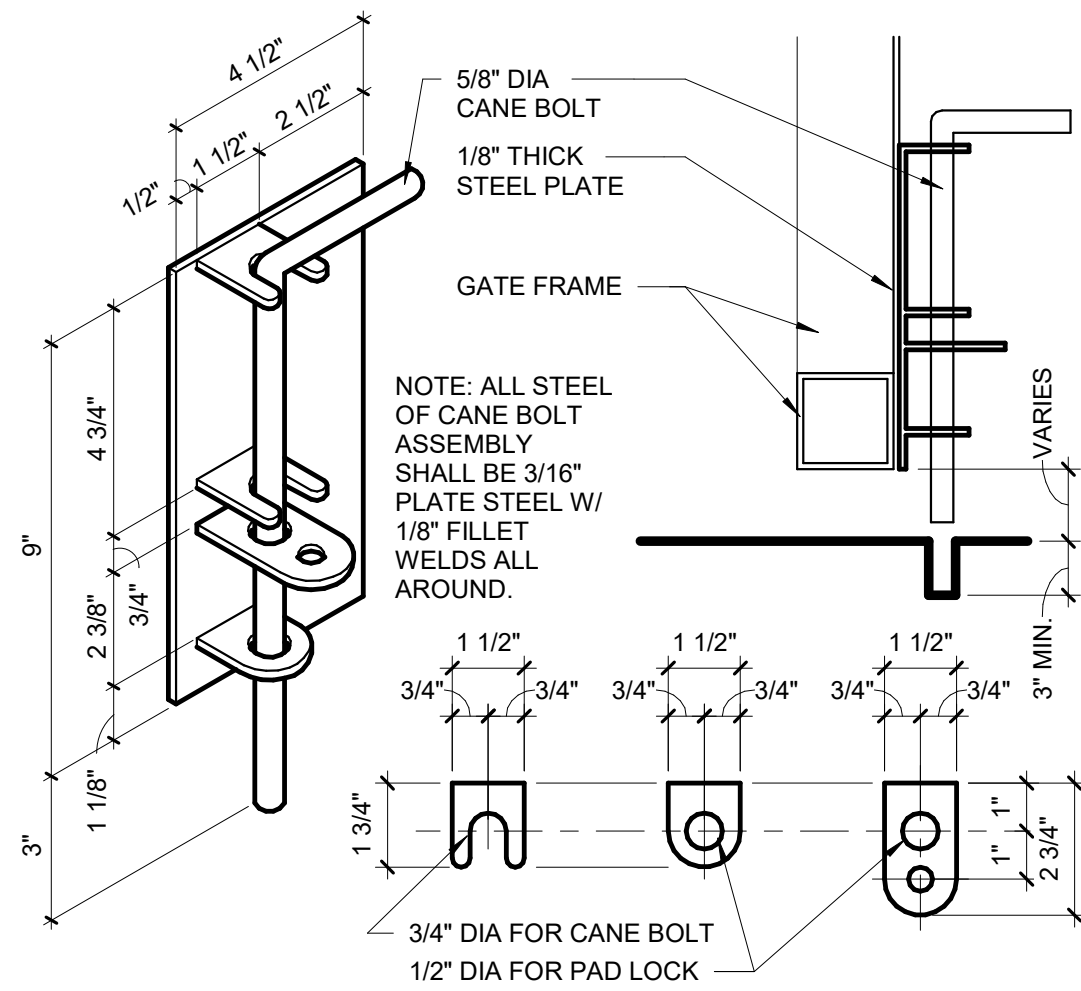
2 SITE PLAN

A1201 Scale: 1/8" = 1'-0"

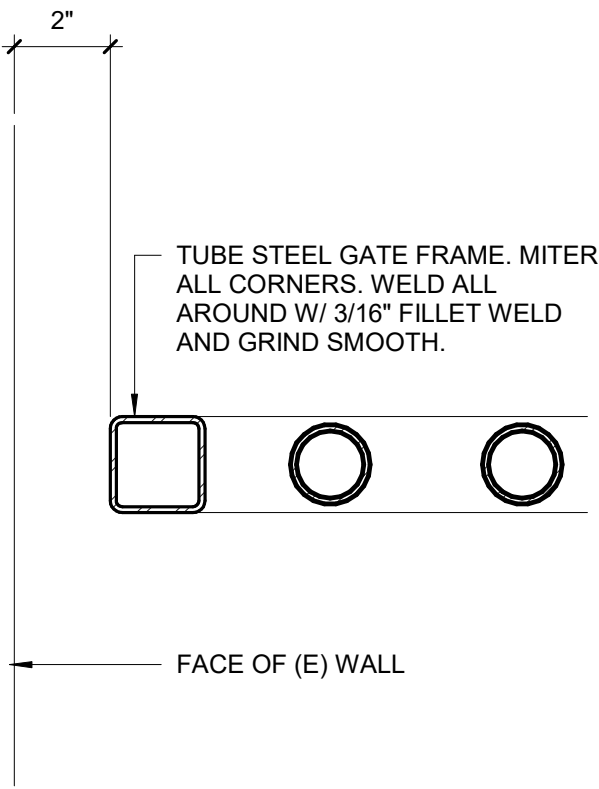
3 SITE PLAN

A1201 Scale: 1/8" = 1'-0"

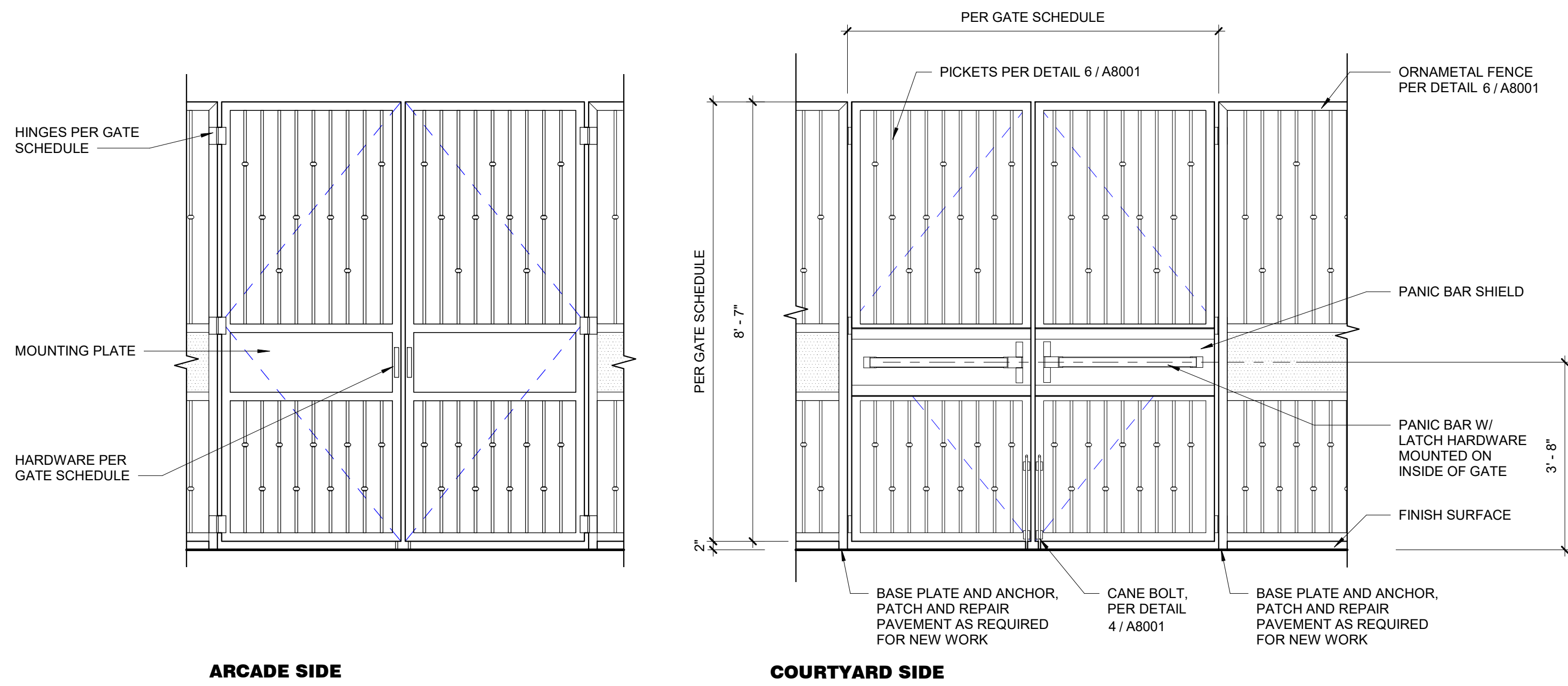
ATTACHMENT C
Design Plan



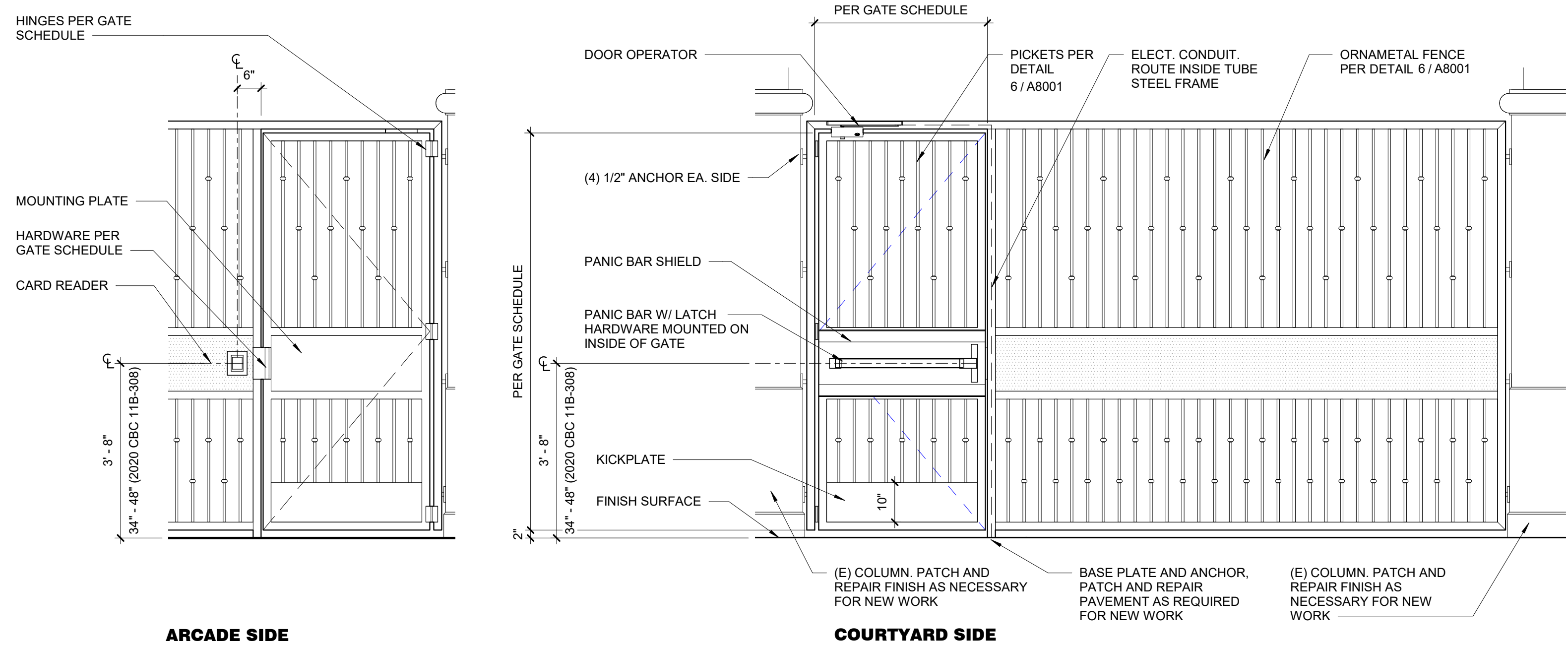
4 BOLT ASSEMBLY
A8001 Scale: 3\"/>



3 ORNAMENTAL FENCE FRAME @ WALL
A8001 Scale: 3\"/>

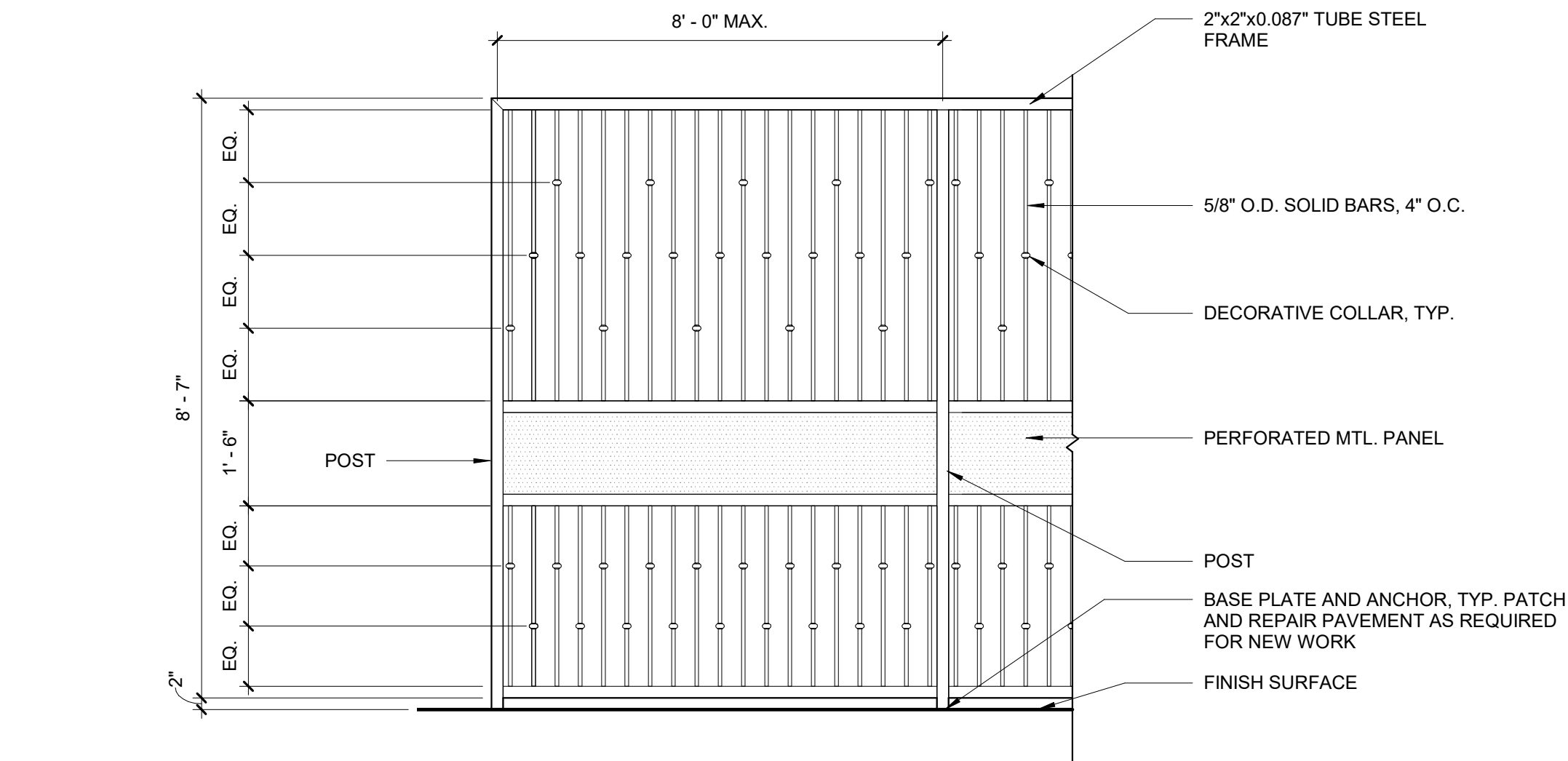


18 ORNAMENTAL FENCE DOUBLE GATE
A8001 Scale: 1/2\"/>



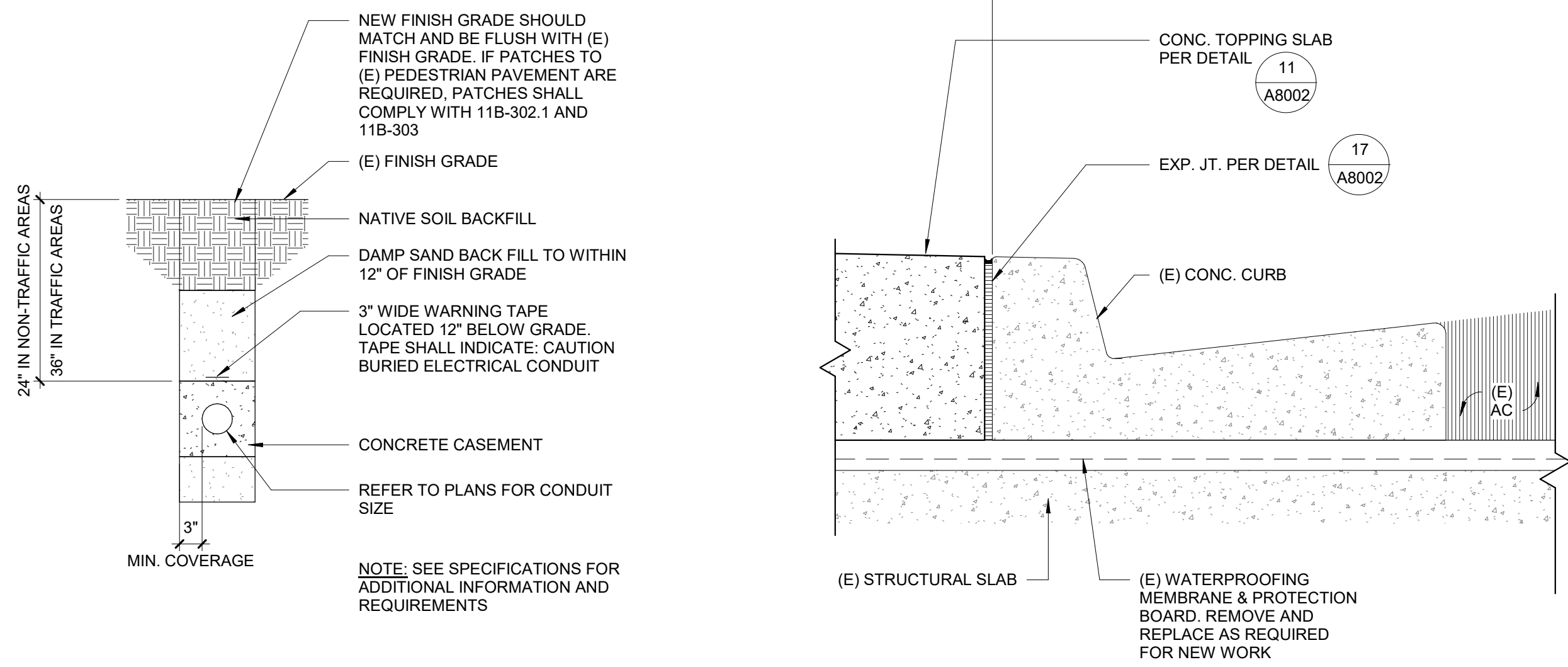
17 ORNAMENTAL FENCE SINGLE GATE
A8001 Scale: 1/2\"/>

6 TYP. ORNAMENTAL FENCE ELEVATION AT ARCADE
A8001 Scale: 1/2\"/>

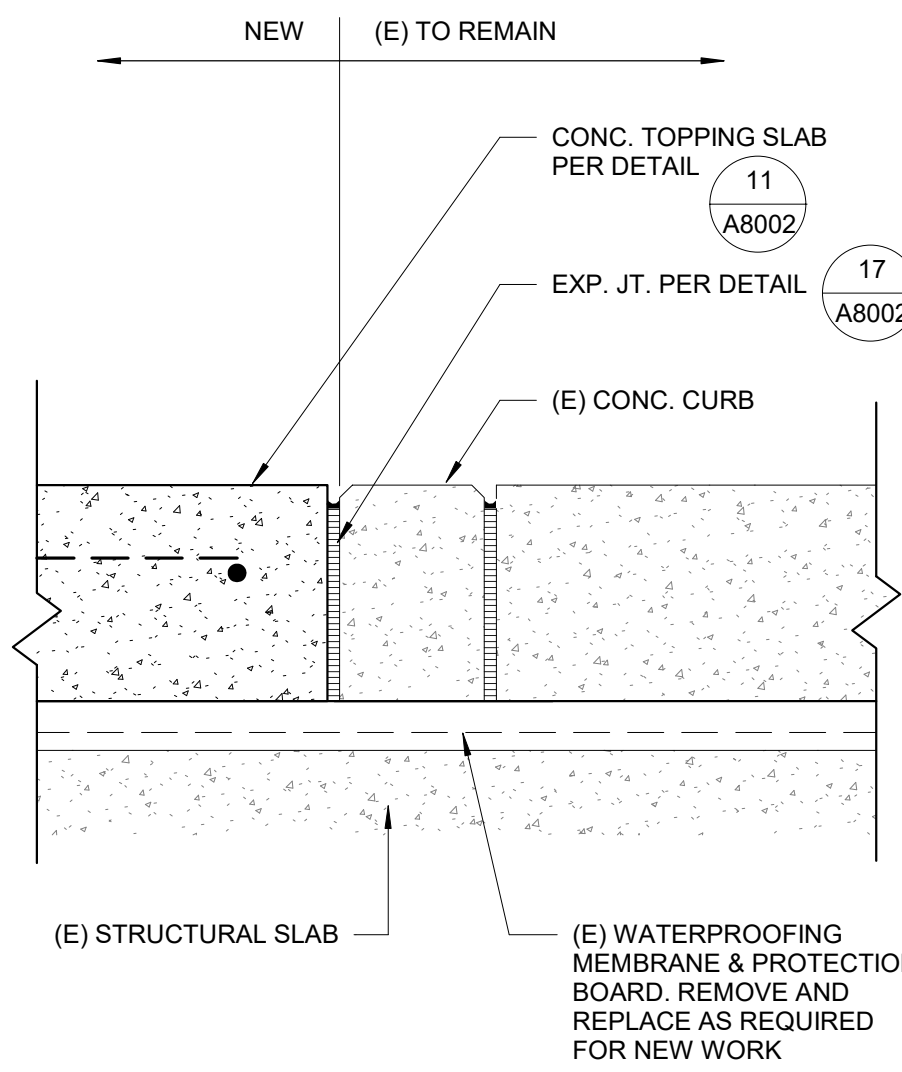


5 TYP. ORNAMENTAL FENCE ELEVATION
A8001 Scale: 1/2\"/>

ATTACHMENT C
Design Plan

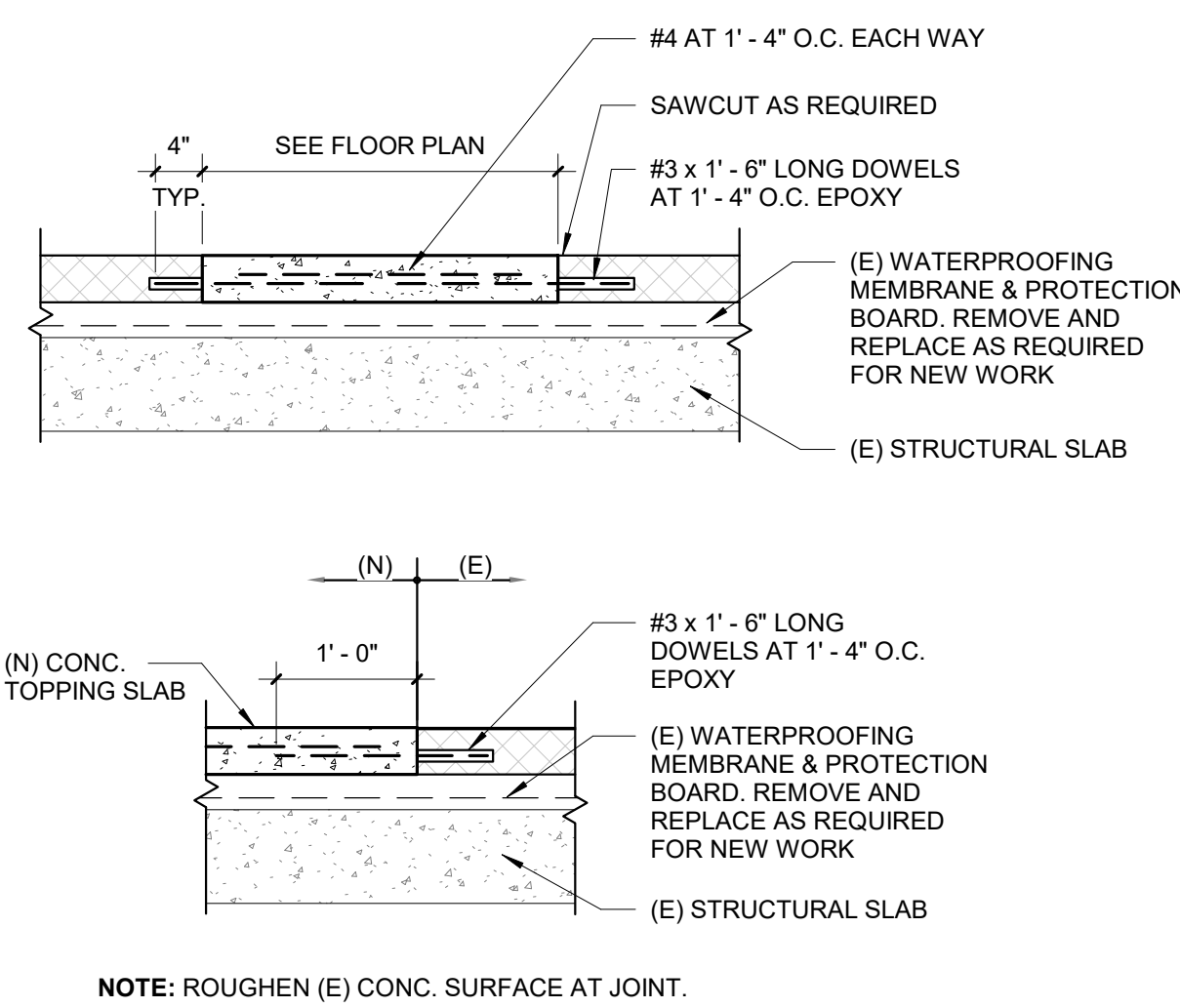


16 ELECT CONDUIT DUCT BANK
A8002 Scale: 3/4" = 1'-0"

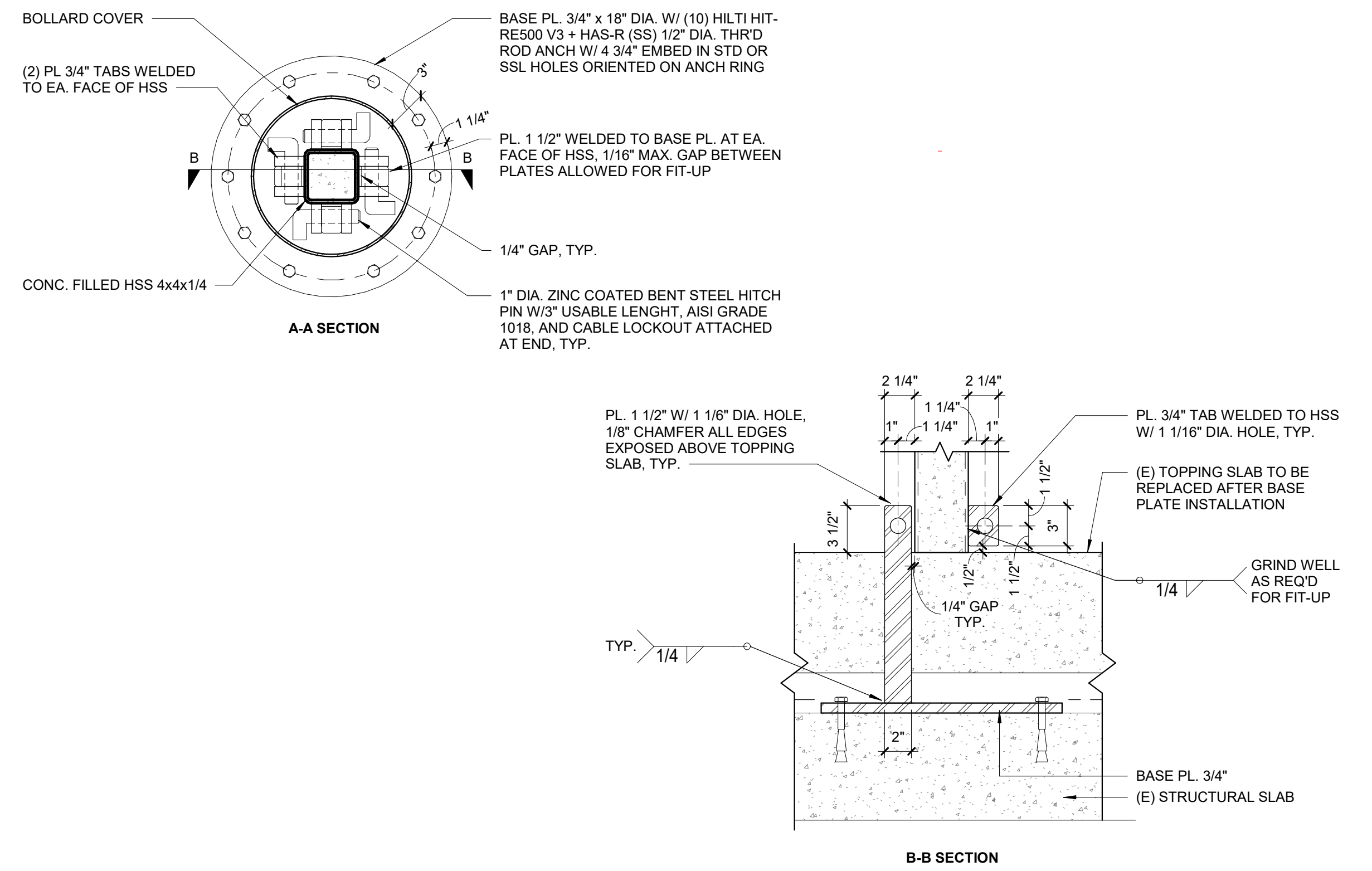
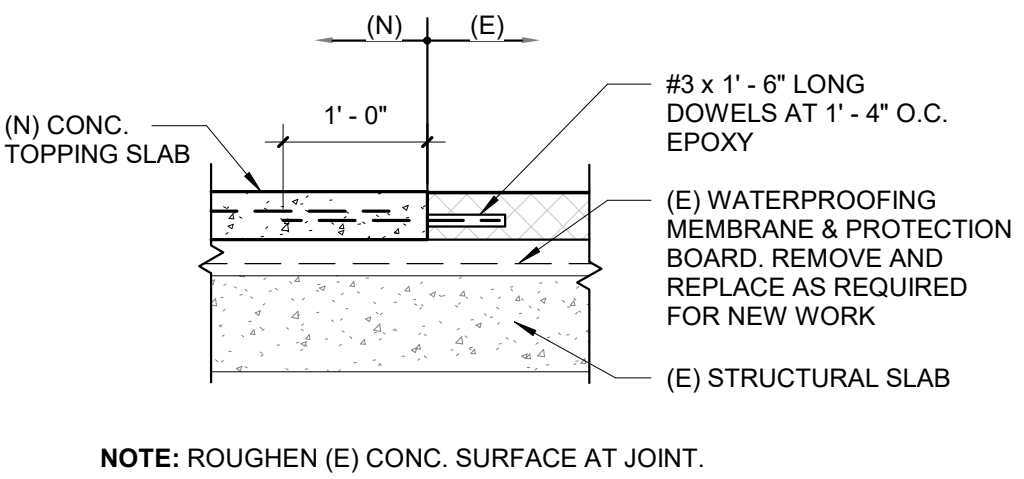


15 WALK - CONCRETE - FLUSHED CURB
A8002 Scale: 1 1/2" = 1'-0"

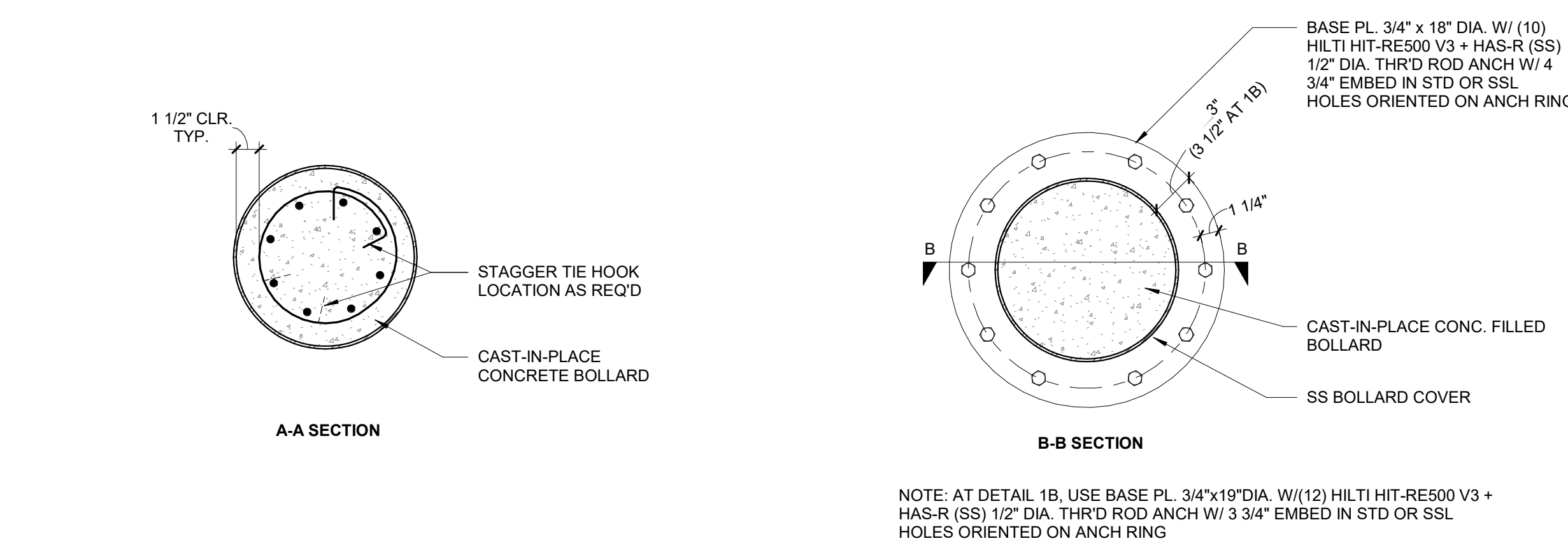
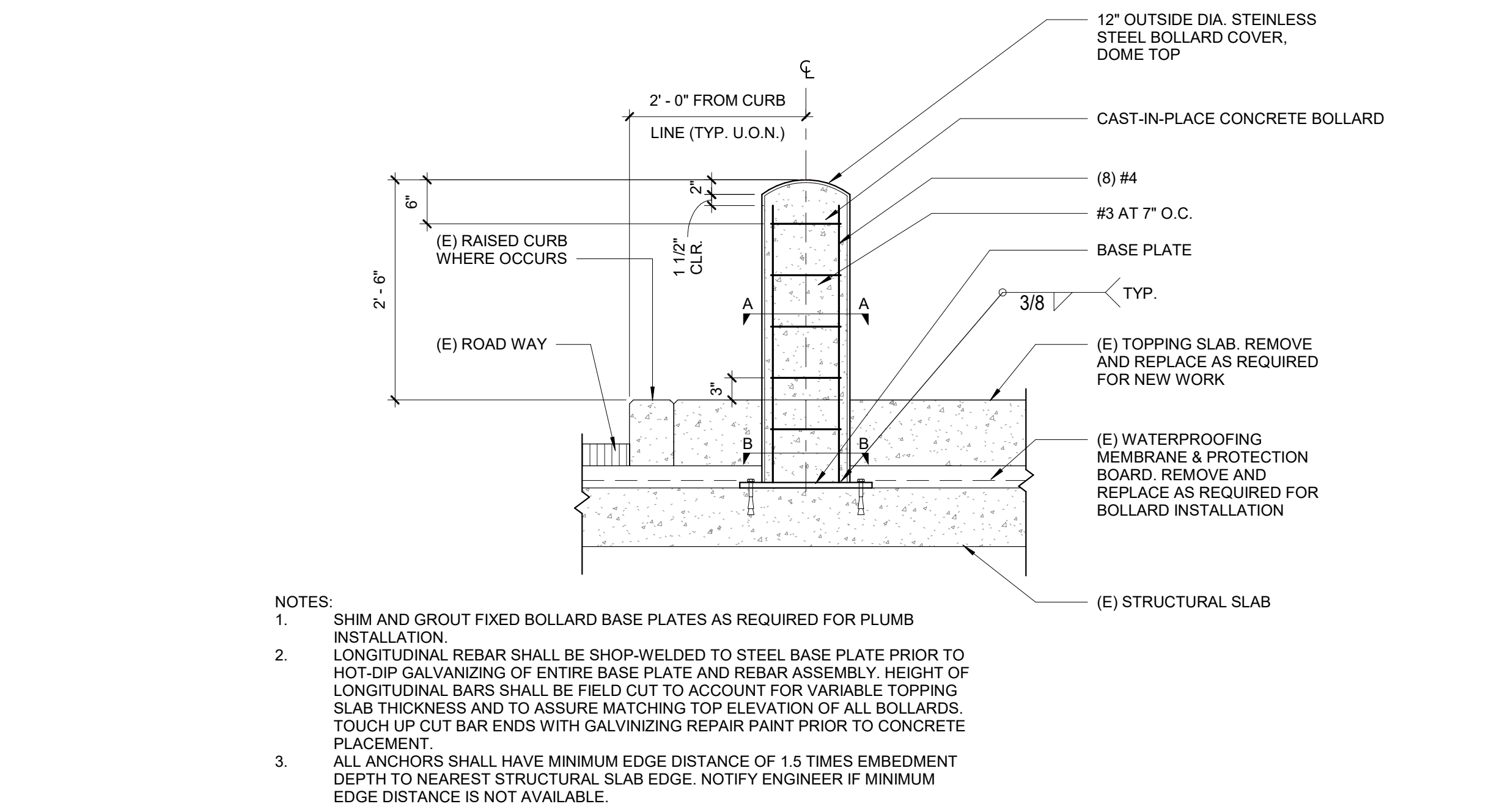
12 WALK - CONCRETE - CURB & GUTTER
A8002 Scale: 1 1/2" = 1'-0"



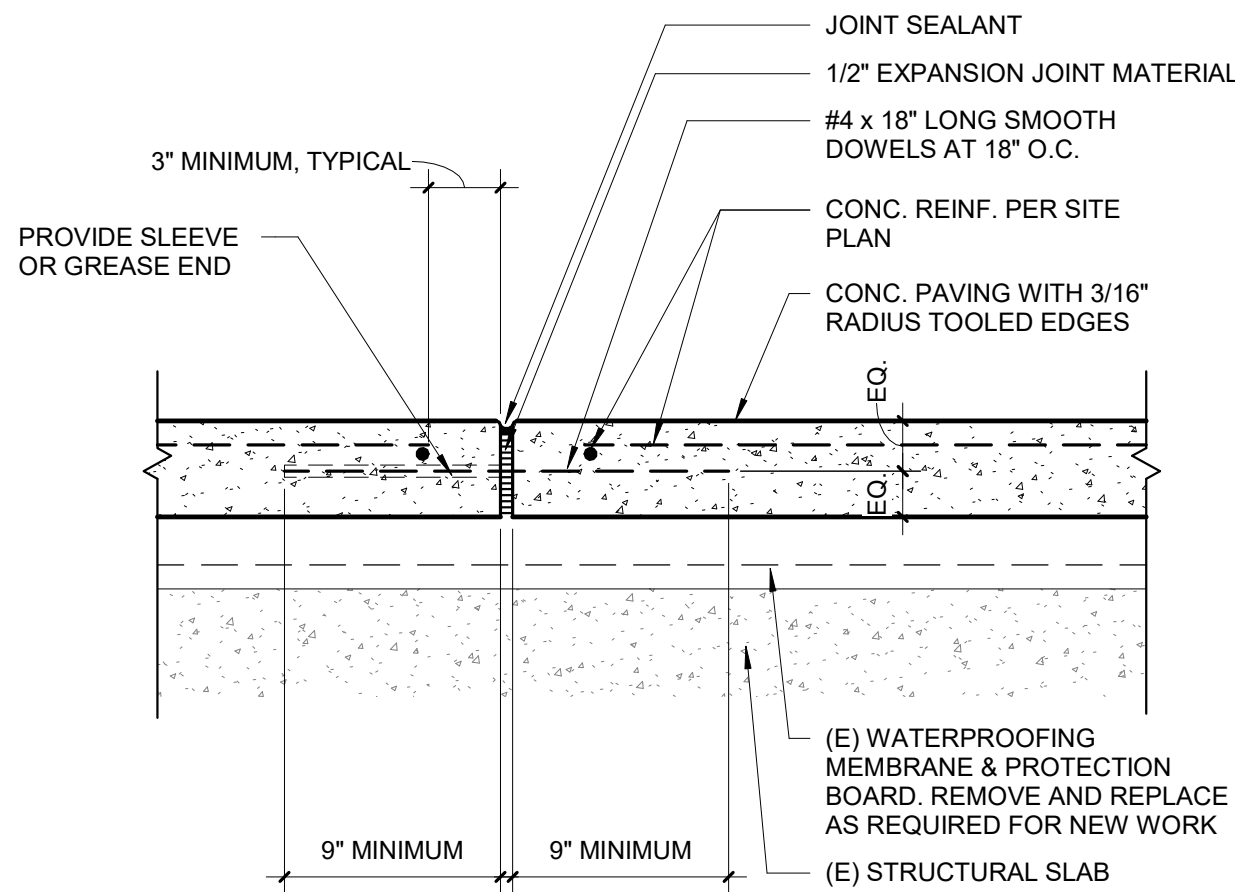
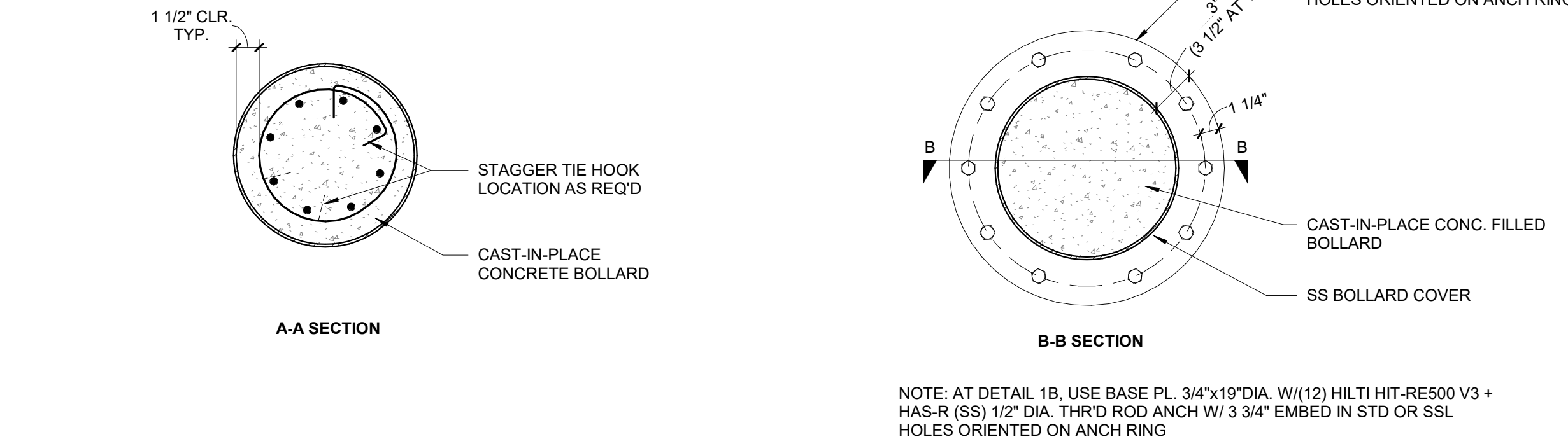
11 WALK - TYP. SLAB REPAIR
A8002 Scale: 3/4" = 1'-0"



7 BOLLARD - REMOVABLE
A8002 Scale: 3/4" = 1'-0"



5 BOLLARD - FIXED
A8002 Scale: 3/4" = 1'-0"



13 WALK - EXPANSION JOINT
A8002 Scale: 1 1/2" = 1'-0"

13 BOLLARD - REMOVABLE
A8002 Scale: 3/4" = 1'-0"



CONSULTANT:

STATE SEAL:

PROJECT
HEADQUARTERS
BUILDING
EXTERIOR
PHYSICAL
SECURITY
IMPROVEMENTS

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LOS ANGELES, CA 90012

REVISIONS:			
DELTA	TITLE	DATE	BY

PM:	ARCHITECTURAL
PE:	SENIOR TECH. MGR.:
DRAWN BY:	Author
SCALE:	As indicated
DATE:	04/22/21
JOB NO.:	116535
SHEET TITLE:	

DETAILS

SHEET NO.:

A8002

CONFIDENTIAL METROPOLITAN INFORMATION

ATTACHMENT D - Proposed Easement Map

HISTORICAL MONUMENTS:

- ① = MONUMENT IN MEMORY OF THE GABRIELENO MISSION INDIANS THAT INHABITED THE PUEBLO OF LOS ANGELES. DEDICATED ON DECEMBER 20, 1998.
- ② = MONUMENT HONORING THE LIVES LOST ON JUNE 24, 1971, IN A TUNNEL EXPLOSION TAKING SEVENTEEN LIVES. ONE METROPOLITAN EMPLOYEE AND SIXTEEN EMPLOYEES FROM LOCKHEED.
- ③ = A BRICK LINE DEPICTING THE OLD CHINATOWN BOUNDARY FROM 1887.

MWD CONTROL POINTS:

23859 LEAD AND TAG, STAMPED "LS 5113", FLUSH IN CONCRETE, PER
R.S.B. 166/ 041AND JOB NUMBER 98-350.

$N = 1842570.49$
 $E = 6490032.59$










23868 1-1/2" IRON PIPE WITH TAG IN CONCRETE, STAMPED "LS 5113", IN
DIRT, PER R.S.B. 166/ 041AND JOB NUMBER 98-350.

$N = 1842686.40$
 $E = 6490053.46$

NOTES:

1. THIS MAP REPRESENTS DATA OBTAINED FROM A FIELD SURVEY PERFORMED BY MWD PERSONNEL IN JULY 2020, USING 3D SCAN SURVEYING METHODS, MWD SURVEY JOB NUMBER 20-095, MWDDB 2601-01/105-108.
2. HORIZONTAL CONTROL FOR THIS TOPOGRAPHIC MAP IS BASED UPON THE CALIFORNIA COORDINATE SYSTEM, NAD83 ZONE 5 (1991.35 EPOCH), MWD SURVEY JOB NUMBER 98-350.

LEGEND:

- | | | | |
|---|--|---|----------------------|
|  | CANOPY / OVERHANG |  | BUILDING / STRUCTURE |
|  | EXISTING GATE |  | LANDSCAPED AREA |
|  | PROPERTY LINE |  | DOOR / GATE |
|  | PROPOSED EASEMENTS |  | SEWER MANHOLE |
|  | PROPOSED SECURITY GATE & COURTYARD CLOSURE | | |

ACQUISITION AREA:

- ① CONSTRUCTION = +/- 230 SQ. FT.
 - ② CONSTRUCTION = +/- 20 SQ. FT.
 - ③ CONSTRUCTION = +/- 11 SQ. FT.
 - ④ CONSTRUCTION = +/- 11 SQ. FT.
 - ⑤ CONSTRUCTION = +/- 25 SQ. FT.
 - ⑥ CONSTRUCTION = +/- 11 SQ. FT.
 - ⑦ CONSTRUCTION = +/- 379 SQ. FT.
 - ⑧ CONSTRUCTION = +/- 461 SQ. FT.
- TOTAL = +/- 1,148 SQ. FT.

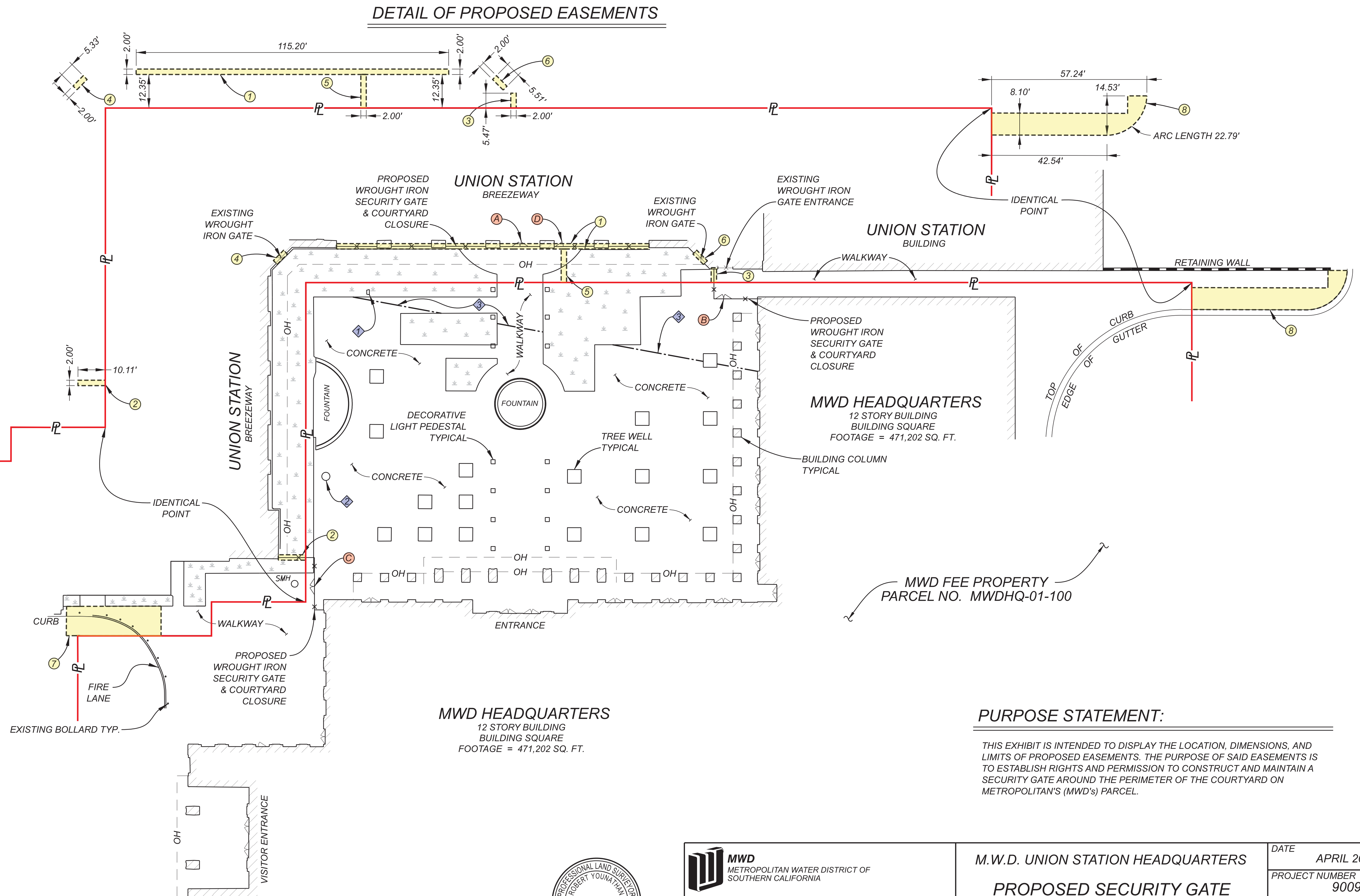
GATE ACCESS:


- (A) = ENTRY AND EXIT ACCESS POINT WITH SECURITY GUARD.
 (B) = EXIT ONLY ACCESS POINT
 (C) = EXIT ONLY ACCESS POINT
 (D) = AFTER HOURS ACCESS POINT

NOTE: ALL ACCESS POINTS WILL BE LOCKED BETWEEN 11 A.M. AND 2 P.M. DAILY, AND AFTER BUSINESS HOURS.

PURPOSE STATEMENT:

THIS EXHIBIT IS INTENDED TO DISPLAY THE LOCATION, DIMENSIONS, AND LIMITS OF PROPOSED EASEMENTS. THE PURPOSE OF SAID EASEMENTS IS TO ESTABLISH RIGHTS AND PERMISSION TO CONSTRUCT AND MAINTAIN A SECURITY GATE AROUND THE PERIMETER OF THE COURTYARD ON METROPOLITAN'S (MWD'S) PARCEL.



 MWD METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA		
SURVEYED MS, ED	VERTICAL DATUM N/A	SURVEY JOB NUMBER 20-11
DRAWN RDY	HORIZONTAL DATUM (EPOCH) NAD83 (1991.35)	CCS ZONE
CHECKED NDF	LATITUDE 34 055411	LONGITUDE - 118 23621

*M.W.D. UNION STATION HEADQUARTERS
PROPOSED SECURITY GATE
IMPROVEMENTS
EXHIBIT MAP*

DATE <i>APRIL 2021</i>	
PROJECT NUMBER <i>900986</i>	
SHEET <i>1 OF 1</i>	
DWG <i>B-171000</i>	REV <i>6</i>