

Board Report

Los Angeles County
Metropolitan Transportation
Authority
One Gateway Plaza
3rd Floor Board Room
Los Angeles, CA

Agenda Number: 5.

FINANCE, BUDGET, AND AUDIT COMMITTEE JUNE 16, 2021

SUBJECT: REAL ESTATE AGREEMENTS WITH THE METROPOLITAN WATER DISTRICT OF

SOUTHERN CALIFORNIA (MWD) FOR SECURITY IMPROVEMENTS AROUND MWD COURTYARD AND HEADQUARTERS BUILDING AT UNION STATION

ACTION: APPROVE RECOMMENDATIONS

File #: 2021-0285, File Type: Agreement

RECOMMENDATION

CONSIDER:

- A. AUTHORIZING the Chief Executive Officer (CEO) or their designee to execute an easement to The Metropolitan Water District of Southern California (MWD) in which the Los Angeles County Metropolitan Transportation Authority (LACMTA) agrees to grant to MWD, and take all necessary steps to record, certain "Real Estate Interests" in the LACMTA-owned property located at the southernmost end of Union Station adjacent to MWD-owned property ("Permanent Easement"); and
- B. AUTHORIZING the CEO or their designee to execute a Second Amendment to the Agreement and Declaration of Covenants, Conditions, and Restrictions (CC&Rs) recorded on May 31, 1996 between MWD and Catellus Development Corporation.

ISSUE

In February 2018, MWD's Board authorized final design of the physical security improvements to MWD headquarters. To expedite completion of the most critical upgrades, the upgrade work was prioritized and staged. Stage 1 upgrades improved exterior surfaces. Stage 2 upgrades enhanced access control and interior security protection. Stage 3 improvements will enhance perimeter security.

For MWD to move forward with stage 3 of MWD headquarter physical security improvements, MWD requires LACMTA to grant a Permanent Easement and amend the current CC&Rs for Union Station.

BACKGROUND

MWD acquired its headquarters site in 1996, which predates LACMTA's acquisition in 2011. In 1996 easements were granted to MWD for the roadway, utility, north sewer and storm drain. During the

same year, CC&Rs were established between Catellus Development Corporation and MWD to ensure that the properties were developed, used and maintained as a high quality, unified development and to establish certain reciprocal rights for uses of common areas.

The MWD Headquarters Building is a 522,682 square-foot, concrete-frame structure consisting of a 12-story high-rise tower attached to a five-story wing. The building is located next to the Union Station transportation hub. The business functions located in this building are critical for maintaining the continuity of MWD's day-to-day operations. The Headquarters Building includes office space for approximately 840 MWD staff and meeting space for the Board of Directors and members of the public. MWD began occupying the Headquarters Building in 1998.

A threat and physical security assessment of the Headquarters Building was completed by MWD consultants in 2016. This assessment recommended the addition of several physical features to enhance the building's perimeter security, access control, and interior security protection systems. These recommendations are in conformity with best security practices for government buildings as stated in guidelines provided by the U.S. Department of Homeland Security. The recommended features to be added in a multi-phased approach include additional cameras, sensors and barriers, improved access control, and improved communication systems. Stage 3 improvements will enhance perimeter security along the exterior of the MWD site and courtyard and require real property rights from LACMTA.

DISCUSSION

Temporary fencing was installed around the MWD courtyard in 2018. MWD is now finalizing phase 3 of their security project which includes permanent physical security enhancements to the MWD courtyard and front entrance to the MWD HQ building. Permanent fencing will eventually replace the current temporary fencing. The transition is expected to be seamless as temporary fencing will remain up until the new permanent fencing is installed.

The permanent fencing design proposed will include four gates total, three main access gates and one after-hours gate. All gates will remain opening during business hours, except during lunch hours. During lunch hours, visitors will still have access to MWD cafeteria and courtyard through the West Visitors' entrance. Gates will be closed and locked after business hours. In addition to fencing, 23 bollards (10 stationary, 13 removable) are proposed to be installed throughout the easement. All fencing and bollards are subject to LACMTA standard guidelines and LACMTA will be given a set of keys to unlock the new removable bollards. The location of the improvements is depicted as Option 1 on Attachment A and further depicted in Attachments B, C and D.

Permanent Easement

The above-described improvements require a permanent easement of 1,148 square feet for MWD to install, construct, maintain, repair, replace, reconstruct and operate fences, gates and bollards.

The easements are mutually beneficial and in conformity with best security practices for government buildings as stated in guidelines provided by the U.S. Department of Homeland Security. Staff proposes to provide them at no charge to MWD. The fees for temporary rights during construction were waived by LACMTA.

Description of Amendment to Union Station CC&Rs

A second amendment to the CC&Rs is required to allow the closure of MWD's courtyard during lunch hours and after business hours. Currently, the CC&Rs allow partial closure of the courtyard during lunch hours.

Equity Platform

This addresses LACMTA's equity platform by focusing and delivering improvements, management and organized use of MWD plaza on Union Station property for the safety of businesses and transit customers.

DETERMINATION OF SAFETY IMPACT

This project will increase safety throughout plaza areas at Union Station.

FINANCIAL IMPACT

There is no financial impact to LACMTA. All construction and maintenance costs for fence, gates and bollards shall be borne by MWD.

Impact to Budget

No impact to budget

IMPLEMENTATION OF STRATEGIC PLAN GOALS

The recommendation supports strategic plan Goal 2: Outstanding trip experience for all users of the transportation system. 2.1 Metro is committed to improving security. Action: Explore and implement prevention tactics, promote prevention as a first measure to reduce frequency and severity of crimes.

ALTERNATIVES CONSIDERED

The Board could choose not to approve the recommendations. This is not recommended as it will hamper safety and security improvements at the MWD Plaza.

NEXT STEPS

Once the easement is granted, recorded and the CC&Rs are updated, MWD will obtain its building permits to construct the MWD Project.

<u>ATTACHMENTS</u>

Attachment A - Fencing Plan & Alternatives

Attachment B - Fence Design and Bollard Look

Attachment C - Design Plan

Attachment D - Proposed Easement Map

Prepared by: Ken Pratt, DEO, Countywide Planning & Development, (213) 922-6288

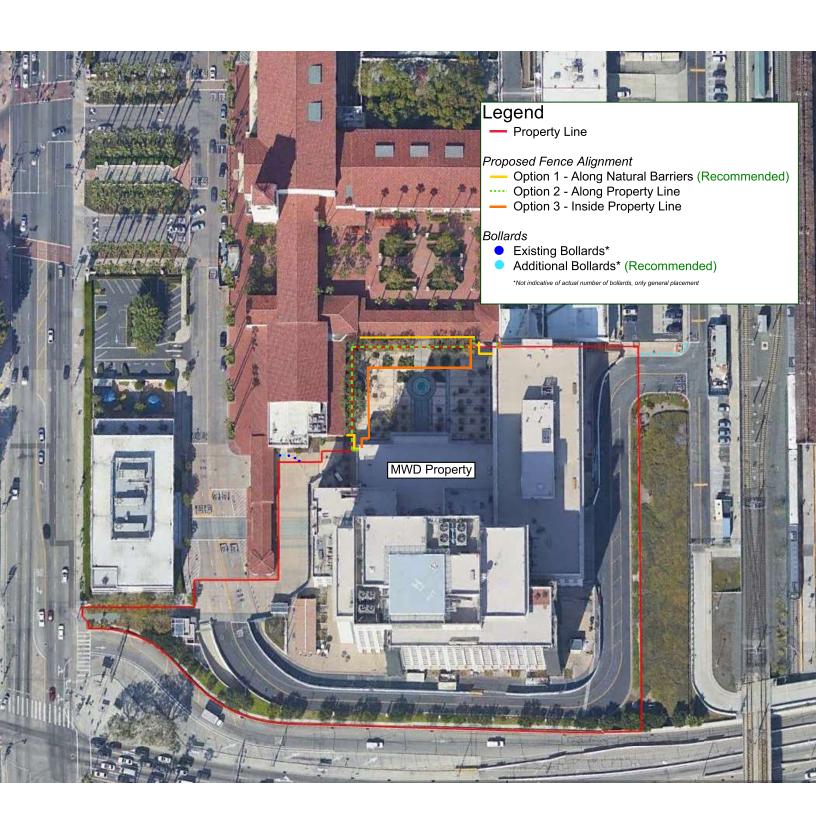
John Potts, Executive Officer, Countywide Planning & Development, (213) 928-3397 Holly Rockwell, SEO - Real Estate, Transit Oriented Communities and Transportation Demand Management, (213) 922-5585

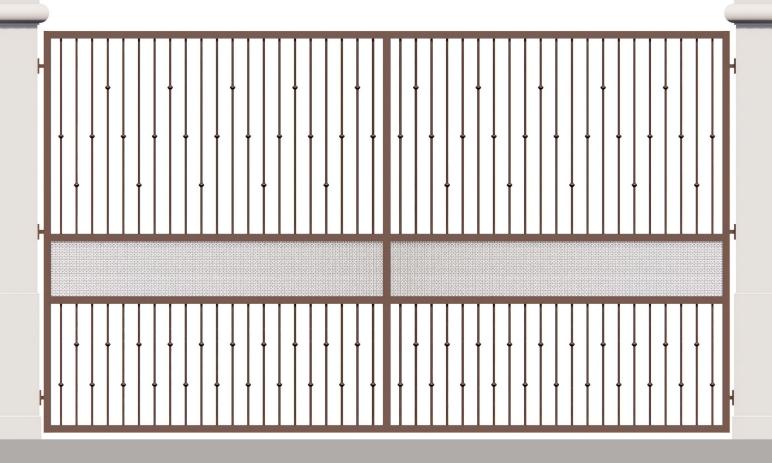
Reviewed by: James de la Loza, Chief Planning Officer, (213) 922-2920

Stephanie N. Wiggins

Chief Executive Officer

ATTACHMENT A Fencing Plan & Alternatives

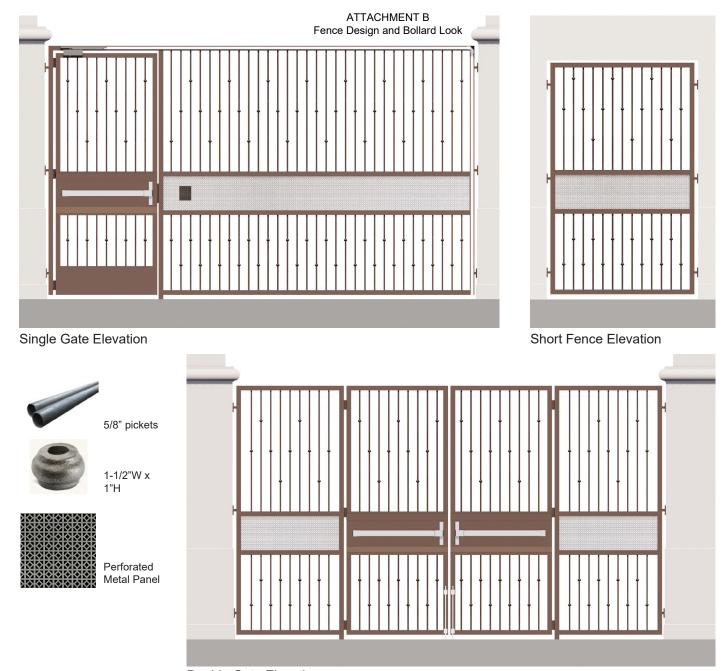




Typical Fence Elevation at Arcade

Ornamental Fence Design

2021/01/28 E I B I



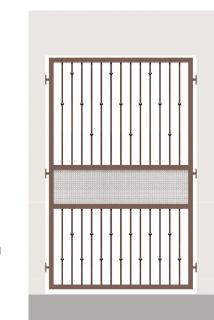
Double Gate Elevation

Ornamental Fence Design





Picket Design Option 2



1-1/2"W

1"H

Picket Design Option 3

5/8" pickets Combination **Fence Color: Brown** (Recommended) Metal Panel

Ornamental Fence Design



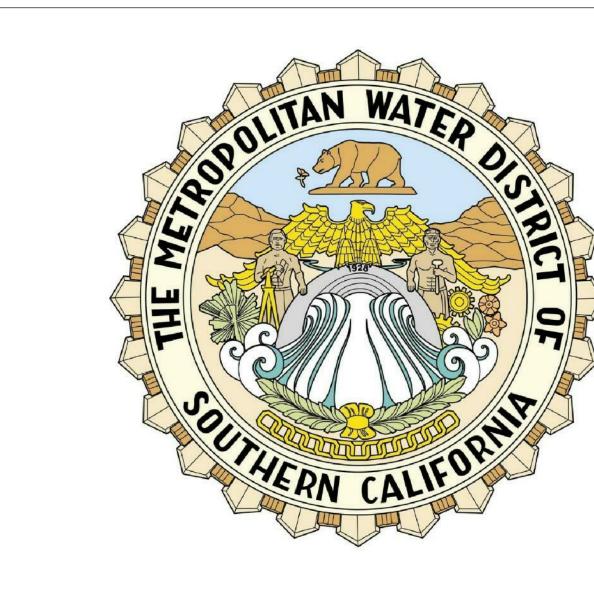
Stainless Steel Bollard Designs



Domed Stainless Steel (Recommended)



Modern Stainless Steel





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HEADQUARTERS BUILDING PHYSICAL SECURITY IMPROVEMENTS

PROJECT
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BUILDING
EXTERIOR
PHYSICAL
SECURITY
IMPROVEMENTS

SPECIFICATION NO.: 2003
PROJECT NUMBER: 105168
DRAWING NUMBER:
APPROVAL SHEET NO.:

ADDRESS: 700 N. ALAMEDA ST. LOS ANGELES, CA 90012

REVISIONS:
DELTA TITLE DATE BY

PROJECT TEAM

OWNER:
METROPOLITAN WATER DISTRICT
700 N ALAMEDA STREET
LOS ANGELES, CA 90012
PHONE: (213) 217-7080

CONTACT: MIKE CLAISSE PROJECT MANAGER

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CONTACT: TRACY RICH
PROJECT MANAGER

PM:	GENERAL
PE:	
SENIOR TECH. MGR.:	
DRAWN BY:	AO
SCALE:	
DATE:	04/22/21
OB NO.:	116535

COVER SHEET

SHEET NO.:

G0000

ABBREVIATIONS APPLICABLE CODES CALIFORNIA CODE OF REGULATIONS, TITLE 24 - BUILDING STANDARDS - ACCESSIBLE - MEHCNAICAL 2019 CALIFORNIA ADMINISTRATIVE CODE (CAC) (Title 24, Part 1, CCR) - ANCHOR BOLT - MEDIUM 2019 CALIFORNIA BUILDING CODE (CBC), Volumes 1 & 2 (Title 24, Part 2, CCR) - ASPHALT CONCRETE - MANUFACTURING (2018 International Building Code with 2018 California amendments) MFR - AIR CONDITIONING - MANUFACTURER 2019 CALIFORNIA ELECTRICAL CODE, Title 24, Part 3, CCR) - ACOUSTICAL MIN (2018 National Electrical Code with 2018 California amendments MIR - MIRROR ADDENDUM 2019 CALIFORNIA MECHANICAL CODE (CMC), Title 24, Part 4, CCR) MISC MOD MNT - ADJUSTABLE or - MISCELLANEOUS (2018 Uniform Mechanical Code with 2018 California amendments) ADJACENT - MODULAR **2019 CALIFORNIA PLUMBING CODE (CPC)**, Title 24, Part 5, CCR) AGGREGATE - MOUNT (ED), (ING) (2018 Uniform Plumbing Code with 2018 California amendments) - ALTERNATE MTL **2019 CALIFORNIA ENERGY CODE,** (Title 24, Part 6) - ALUMINUM - MULLION 2019 CALIFORNIA HISTORICAL BUILDING CODE, (Title 24, Part 8, CCR) - APPROVED (2018 International Building Code with 2018 California amendments) - APPROXIMATE **2019** CALIFORNIA FIRE CODE (CFC), Title 24, Part 9, CCR) - ARCHITECT (URAL) - NOT IN CONTRACT (2018 International Fire Code with 2018 California amendments) - NUMBER **2019 CALIFORNIA EXISTING BUILDING CODE,** (Title 24, Part 10, CCR) NOM - NOMINAL (2018 International Existing Building Code with 2018 California amendments) NPS NTS - BELOW - NOMINAL PIPE SIZE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), - BUILDING - NOT TO SCALE Title 24, Part 11, CCR) - 2018 California Green Building Standards Code - BLOCKING applies at those portions designated by California Building Standards - BOTTOM - BUILT UP ROOFING - ON CENTER **2019 CALIFORNIA REFERENCE STANDARDS CODE**, (Title 24, Part 12, CCR) - OUTSIDE DIAMETER - OVERFLOW DRAIN 2010 ADA STANDARDS FOR ACCESSIBILITY DESIGN, U.S. Department of Justice OWNER FURNISHED CONTRACTOR - CATCH BASIN 2016 NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER CEM - CEMENT INSTALLED - CUBIC FOOT OWNER FURNISHED - COUNTERFLASHING OWNER INSTALLED 2016 NFPA 72, NATIONAL FIRE ALARM CODE AND SIGNALING CODE, 2015 Edition - OPPOSITE CHAMFER - OPTIONAL - CONTROL JOINT NOTE: SOME CODES MAY NOT APPLY IF WORK REGULATED BY SUCH CODES IS CLG - CEILING NOT WITHIN THE SCOPE OF THIS PROJECT. CLR - CLEAR - POWDER ACTUATED - CERAMIC MOSAIC (TILE FASTENER - CONCRETE MASONRY - PERIMETER PERF - PERFORATED - CLEAN OUT - PROPERTY LINE PLAM PLAS PLT PLWD COLUMN - PLASTIC LAMINATE CONCRETE - PLASTER CONTINUOUS or - PLATE CONTINUE - PLYWOOD PNL CONSTRUCTION **GENERAL NOTES** - POINT OF CONNECTION POC CLEAN OUT THRU - CLEAN OUT TO GRADE PTDF - PRESERVATIVE - CLEAN OUT THRU WALL TREATED DOUGLAS FIR COTW PTN COUNTERSINK - PARTITION CASEMENT PSL - PARALLEL STRAND - COUNTERSUNK SCREW LUMBER THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE WORK PRIOR TO BID. CONTRACTOR SHALL VERIFY - POLYVINYL CHLORIDE COLD WATER EXISTING CONDITIONS AND DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES OR UNIDENTIFIED CONDITIONS TO THE METROPOLITAN WATER DISTRICT FOR RESOLUTION BEFORE BEGINNING WORK. DRINKING FOUNTAIN - RELATIVE COMPACTION ANY DAMAGE TO EXISTING IMPROVEMENTS IN THE EXECUTION OF THE WORK IN THIS CONTRACT SHALL DIAMETER - ROOF DRAIN BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE METROPOLITAN REF DIAG - DIAGONAL - REFERENCE WATER DISTRICT OF SOUTHER CALIFORNIA. REFR REM REQ'D - REFRIGERATOR - DIMENSION DIVISION DO NOT SCALE THE DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. - DOOR - REQUIRED RES - DOWNSPOUT - RESILIENT DIMENSIONS, DETAILS, NOTES AND SYMBOLS THAT APPLY TO ONE UNIT, APPLY TO ALL UNITS IN LIKE - DRAWING REV - REVISION - REFLECT - ROUND HEAD WOOD UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, - EXISTING SCREW NOTCHED, BORED OR OTHERWISE MODIFIED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER - EACH RDWD - REDWOOD OF RECORD. SEE MECHANICAL AND PLUMBING DRAWINGS FOR LOCATIONS OF FLOOR OR AREA DRAINS. - EXPANSION BOLT RWL - RAIN WATER LEADER LOUVERS, HEATING UNITS AND WET UTILITIES. - EXTERIOR INSULATION FINISHING SYSTEM - SCHEDULE INSTALLATION SHALL FOLLOW THE MANUFACTURER'S PUBLISHED SPECIFICATIONS AND/OR TRADE - EXPANSION JOINT - STORM DRAIN STANDARDS IN ADDITION TO MEETING OR EXCEEDING THE REFERENCED STANDARDS IDENTIFIED IN THE - ELEVATION · ELECTRICAL - SEE ELECTRICAL **EMERGENCY** DRAWINGS ALL PIPING AND CONDUIT SHALL BE LOCATED WITHIN WALLS AND AS HIGH AS POSSIBLE ABOVE - SQUARE FEET - ENCLOSURE (URE) CEILINGS. MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND DO NOT SHOW - SHELF SHLV SHT EQUIPMENT - SHELVING - EXHAUST ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF COLUMN UNLESS NOTED OTHERWISE - EXPOSED - SHEATHING - EXTERIOR - SIMILAR THE CONTRACTOR SHALL NOTIFY THE METROPOLITAN WATER DISTRICT OF ANY DISCREPANCIES IN THE - SEE LANDSCAPE DOCUMENTS PRIOR TO PROCEEDING WITH ANY WORK INVOLVED. - FUTURE DRAWINGS - FABRICATION - SEE MECHANICAL 10. MATERIALS CONTAINING ASBESTOS ARE STRICTLY PROHIBITED FROM USE IN THIS PROJECT. - FACTORY DRAWINGS - SPECIFICATIONS - FURNISHED BY OTHERS 11. ALL WORK IS NEW UNLESS OTHERWISE NOTED. REVIEW EXISTING DRAWINGS AND SITE TO DETERMINE - FLOOR DRAIN - SQUARE WHAT SELECTIVE DEMOLITION MUST TAKE PLACE IN ORDER TO INSTALL NEW WORK. (SEE - FINISHED FLOOR - STAINLESS STEEL SPECIFICATIONS SECTION 02010) - FLAT HEAD MACHINE - SEE STRUCTURAL DRAWINGS 12. SF AREAS IF PROVIDED ON CONTRACT DOCUMENTS ARE NOT FOR BIDDING PURPOSES. CONTRACTOR TO - FLAT HEAD WOOD STN - STAIN DO HIS OWN TAKEOFFS. SCREW STD - STANDARD REFERENCES TO ANY DETAIL OR DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE - FLOOR JOIST - SELF TAPPING SHEET APPLICATION OF SUCH DETAIL OR DRAWINGS. DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE - FLOOR METAL SCREW VERIFIED BY THE CONTRACTOR. - FLUORESCENT - FOUNDATION THE CONTRACTOR SHALL PROVIDE THE NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR OTHER - FACE OF FINISH - TOP AND BOTTOM SUPPORT FOR ALL FIXTURES, EQUIPMENT, PIPING, CABINETRY, FURNISHINGS, WINDOW COVERINGS, - TELEPHONE - FACE OF PLYWOOD RAILINGS AND ALL OTHER ITEMS REQUIRING THE ABOVE. TEMP - TEMPERED SHEATHING T&G THRU - FACE OF STUD - TONGUE-AND-GROOVE THE CONTRACTOR SHALL INCLUDE IN THEIR BID ALL CORING, PATCHING AND REPAIRING REQUIRED FOR - FRAME (D), (ING) - THROUGH THE JOB, INCLUDING (BUT NOT LIMITED TO) STRUCTURAL ITEMS, MECHANICAL, ELECTRICAL AND - FIBERGLASS - TOOL JOINT TOC PLUMBING LINES, FIXTURE AND SITE WORK. REINFORCED PLASTIC - TOP OF CURB, CRICKET, PANELS 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF WORK REQUIRED AS - FOOTING or CONCRETE PART OF THESE CONSTRUCTION DOCUMENTS. - FIRRED (ING) - TOP OF PARAPET - TOP OF SLAB, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL EXISTING UTILITIES BEFORE SHEATHING, or STEEL COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT - GYPSUM BOARD - TOILET PARTITION BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL GALVANIZED IRON - TOP OF SHEATHING DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND - TOP SET BASE PRESERVE ANY AND ALL UNDERGROUND UTILITIES. - GLASS or GLAZING - TELEVISION TYP TWS - GALVANIZED - TYPICAL AREAS SUCH AS WALLS, DOORS AND FRAMES THAT ARE PART OR AFFECTED BY NEW WORK SHALL BE - GALVANIZED SHEET - TACKABLE WALL THOROUGHLY CLEANED AND PREPARED TO RECEIVE NEW PAINT IN ACCORDANCE WITH SPECIFICATION SYSTEM SECTION 09900. - GYPSUM - UNLESS OTHERWISE UON 19. "PROVIDE" = "FURNISH AND INSTALL" - HOSE BIBB NOTED - HARDWOOD - VARIES HEXAGONA - HOLLOW METAL - VAPOR BARRIER (STEEL) VCT - VINYL COMPOSITION - HORIZONTAL HOR - VINYL COVERED - HEATING VENTILATING TACKBOARD AIR CONDITIONING - VERTICAL - HOT WATER - VERIFY - VERTICAL GRAIN - INSIDE DIAMETER - VERIFY IN FIELD - INCLUDE (D), (ING) - VENT OVER or OFFSET - INSTRUCTION (S) - VENT RISER - INSULATE (D), (ION) VTR - VENT THROUGH ROOF - INTERIOR VWC - VINYL WALL COVERING - INVERT - WITH - JOIST - WOOD - JOINT - WIDE FLANGE - WOODWORK INSTITUTE - LAMINATE (D) - WINDOW - LAVATORY - WITH OUT - LAG BOLT - WHERE OCCURS - LOUVER - WOOD SCREW - LAY-IN CEILING PANEL - WAINSCOT PROJECT DESCRIPTION - MASONRY - MATERIAL - DIAMETER - PLUS/MINUS - MAXIMUM - MACHINE BOLT - DEGREES - CENTER LINE THE FOLLOWING IS A BRIEF DESCRIPTION OF THE SCOPE OF WORK. CONTRACTOR SHALL DETERMINE/VERIFY THE ENTIRE SCOPE AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS PRIOR TO SUBMITTING BIDS. PHYSICAL SECURITY IMPROVEMENTS AT THE MWD HEADQUARTERS BUILDING. THE SCOPE OF THE **SYMBOLS LEGEND** PROJECT INCLUDES THE INSTALLATION OF NEW BOLLARDS AROUND THE PERIMETER OF THE SITE AND THE INSTALLATIONS OF AN ORNAMENTAL FENCE AT THE NORTH, NORTHEAST AND SOUTHWEST PORTIONS OF THE SITE. ROOM NAME ROOM NUMBER 101 --- S.F. ROOM AREA (101A)- DOOR NUMBER DEMOLITION SCHEDULE TAG ---- WINDOW NUMBER - ROOM NUMBER 101 ROOM NAME 1 A 1 CEILING SCHEDULE INDICATES DEMOLITION REQUIREMENTS. REFER TO DEMOLITION SCHEDULE AND BUILDING WALL TYPE FLOOR/BASE_DEMOLITION PLANS ACCESSORY TAG EXTERIOR ELEVATION REFERENCE ● 8'-0" CEILING HEIGHT TAG

 KEYNOTE REFERENCE OR COLOR DESIGNATION

— CABINET DESIGNATION

WD HT CABINET HEIGHT

DETAIL NUMBER -

101-1

✓ INTERIOR ELEVATION NUMBER

SHEET NUMBER

- SHEET NUMBER

 AUXILIARY INTERIOR ELEVATION NUMBER

CLOCKWISE SEQUENCE

ATTACHMENT C Design Plan

SHEET INDEX

GENERAL G0000 COVER SHEET G1000 **GENERAL NOTES** ARCHITECTURAL SITE DEMOLITON PLAN A1000 SITE PLAN A1100 SITE ENLARGED PLAN - ORNAMENTAL FENCE **ENLARGED SITE PLANS - PHYSICAL SECURITY ENLARGED SITE PLANS - PHYSICAL SECURITY DETAILS** A8001 A8002 **DETAILS** Grand total: 9

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PROJECT
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BUILDING
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SECURITY
IMPROVEMENTS

SPECIFICATION NO.: 2003
PROJECT NUMBER: 105168
DRAWING NUMBER:
APPROVAL SHEET NO.:

ADDRESS: 700 N. ALAMEDA ST. LOS ANGELES, CA 90012

DELTA TITLE DATE BY
50% CHECKSET MARCH 2021 IBI

 PM:
 GENERAL

 PE:
 SENIOR TECH. MGR.:

 DRAWN BY:
 AO

 SCALE:
 12" = 1'-0"

 DATE:
 04/22/21

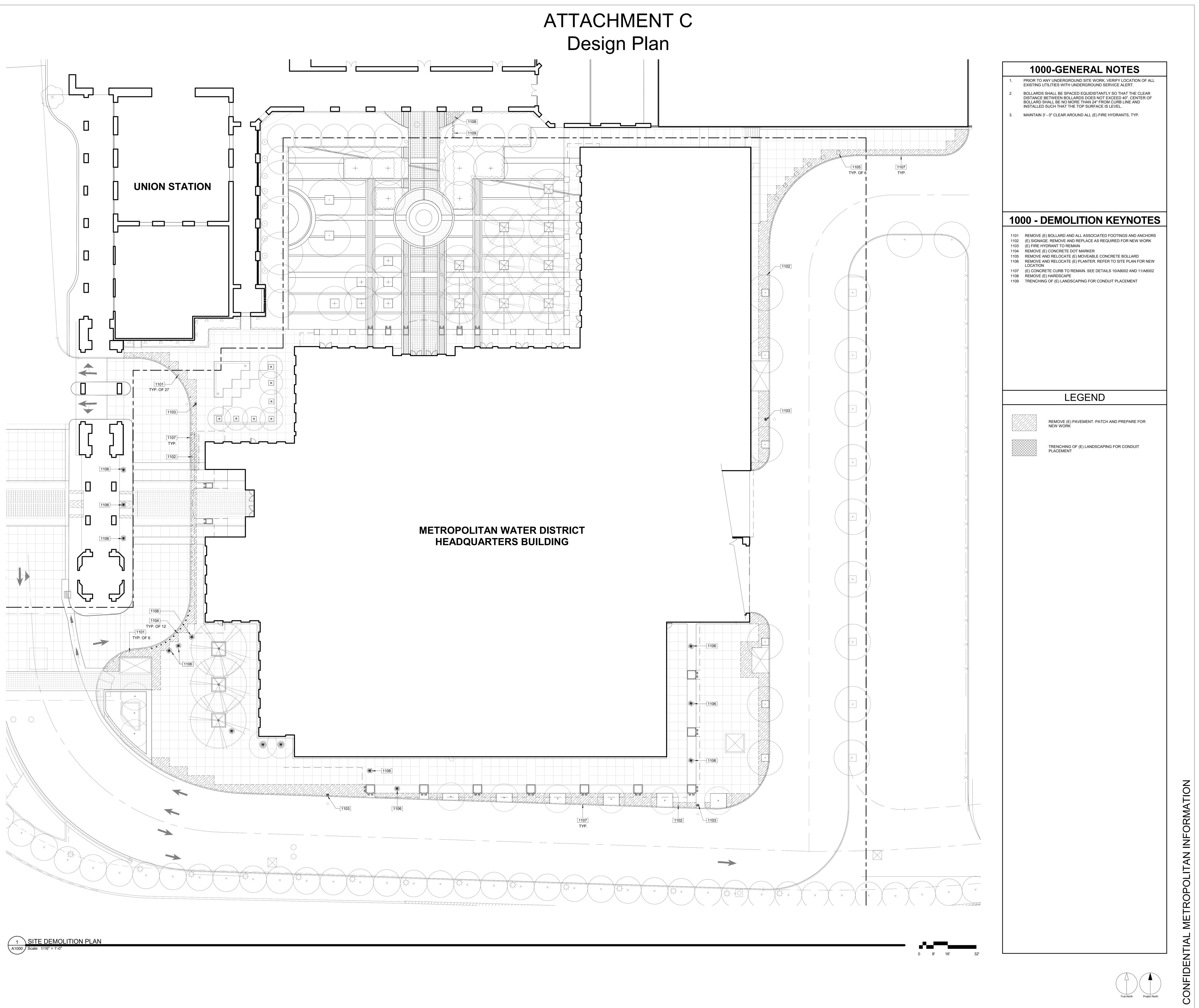
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GENERAL NOTES

SHEET NO.:

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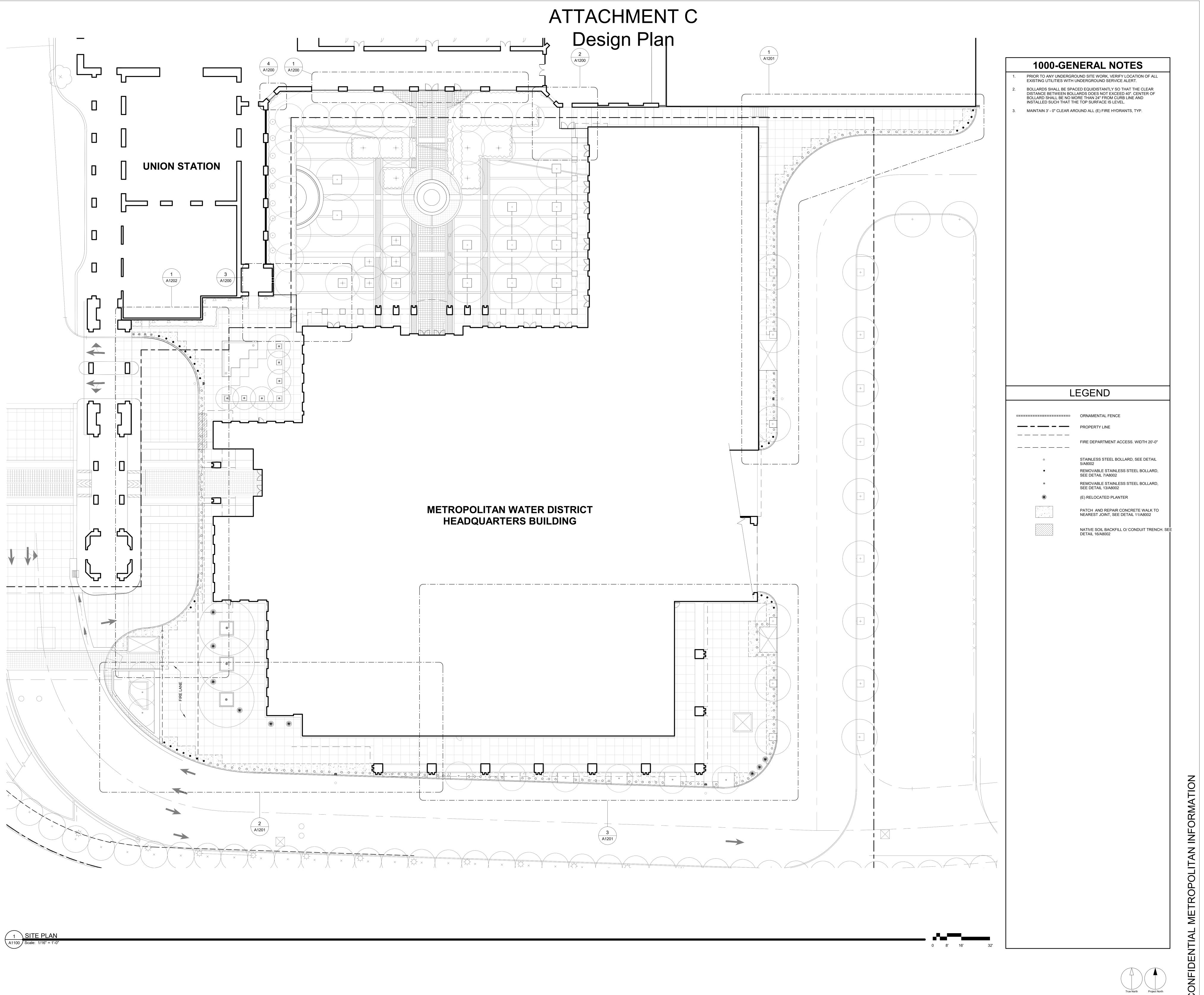
REVISIONS:

DELTA TITLE DATE BY
50% CHECKSET MARCH 2021 IBI

PM: ARCHITECTURE:
PE:
SENIOR TECH. MGR.:
DRAWN BY: AO
SCALE: As indicated
DATE: 04/22/21

A1000

SITE DEMOLITON PLAN



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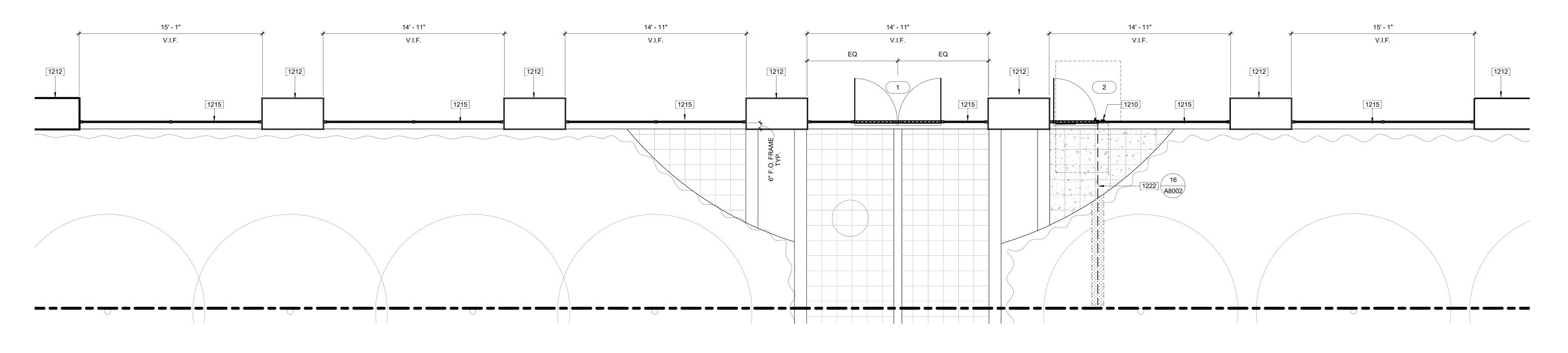
STATE SEAL:

PROJECT HEADQUARTERS BUILDING EXTERIOR PHYSICAL SECURITY **IMPROVEMENTS**

SPECIFICATION NO.: PROJECT NUMBER: DRAWING NUMBER: APPROVAL SHEET NO.:

700 N. ALAMEDA ST. LOS ANGELES, CA 90012

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METROPOLITAN WATER DISTRICT HEADQUARTERS BUILDING



PRIOR TO ANY UNDERGROUND SITE WORK, VERIFY LOCATION OF ALL EXISTING UTILITIES WITH UNDERGROUND SERVICE ALERT. BOLLARDS SHALL BE SPACED EQUIDISTANTLY SO THAT THE CLEAR DISTANCE BETWEEN BOLLARDS DOES NOT EXCEED 40". CENTER OF BOLLARD SHALL BE NO MORE THAN 24" FROM CURB LINE AND INSTALLED SUCH THAT THE TOP SURFACE IS LEVEL.

MAINTAIN 3' - 0" CLEAR AROUND ALL (E) FIRE HYDRANTS, TYP.

1100 - KEYNOTES

- 1210 CARD READER 1212 (E) CONCRETE COLUMN WITH PLASTER FINISH. PATCH AND REPAIR FINISH ÀŚ NECESSARY FOR NEW WORK
- 1216 ORNAMENTAL FENCE PER DETAIL 5/A8001 1221 (E) CONCRETE WALL WITH PLASTER FINISH. PATCH AND REPAIR FINISH AS
- NÉCESSARY FOR NEW WORK 1222 ELECTRICAL CONDUIT

700 N. ALAMEDA ST. LOS ANGELES, CA 90012 60" X 60" ACCESSIBLE FLOOR SPACE LOCATION

PROJECT

BUILDING

EXTERIOR

PHYSICAL

SECURITY

PROJECT NUMBER:

DRAWING NUMBER: APPROVAL SHEET NO.:

HEADQUARTERS

IMPROVEMENTS

SPECIFICATION NO.: 2003

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CONSULTANT:

STATE SEAL:

- 1215 ORNAMENTAL FENCE PER DETAIL 6/A8001

0 2' 4' 8'

METROPOLITAN WATER DISTRICT HEADQUARTERS BUILDING

опоооооооп	ORNAMENTAL FENC

LEGEND

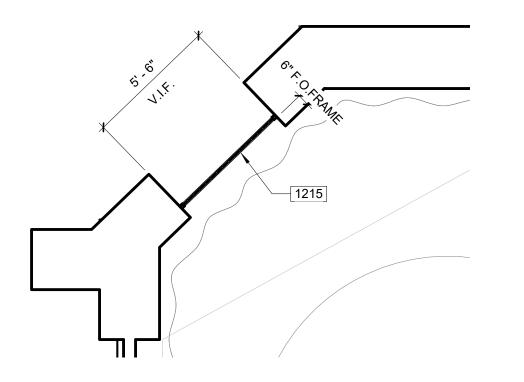
	PROPERTY LINE
	FIRE DEPARTMENT ACCESS. WIDTH 20'-0"
0	STAINLESS STEEL BOLLARD, SEE DETAIL 5/A8002
•	REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 7/A8002
⊠	REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 13/A8002
*	(E) RELOCATED PLANTER
	PATCH AND REPAIR CONCRETE WALK TO NEAREST JOINT, SEE DETAIL 11/A8002
	NATIVE SOIL BACKFILL O/ CONDUIT TRENCH. S DETAIL 16/A8002
	60" DIA. ACCESSIBLE FLOOR SPACE LOCATION
	30" X 48" ACCESSIBLE FLOOR SPACE LOCATION
r	

ENLARGED SITE PLAN - ORNAMENTAL FENCE WEST

1216 ____ TYP.

UNION STATION

GATE SCHEDULE											
OR No.	TYPE	MAT	FINISH	WIDTH	HEIGHT	HARDWARE	PANIC	SIGNAGE	DETAIL	REMARKS	DOOR No.
1	AA			7' - 0"	8' - 9"		Yes		18/A8001		1
2	BB			3' - 6"	8' - 4"		Yes		17/A8001		2
3	AA			7' - 0"	8' - 9"		Yes		18/A8001		3



1 ENLARGED SITE PLAN - ORNAMENTAL FENCE NORTH

UNION STATION

3 ENLARGED SITE PLAN - ORNAMENTAL FENCE SOUTH

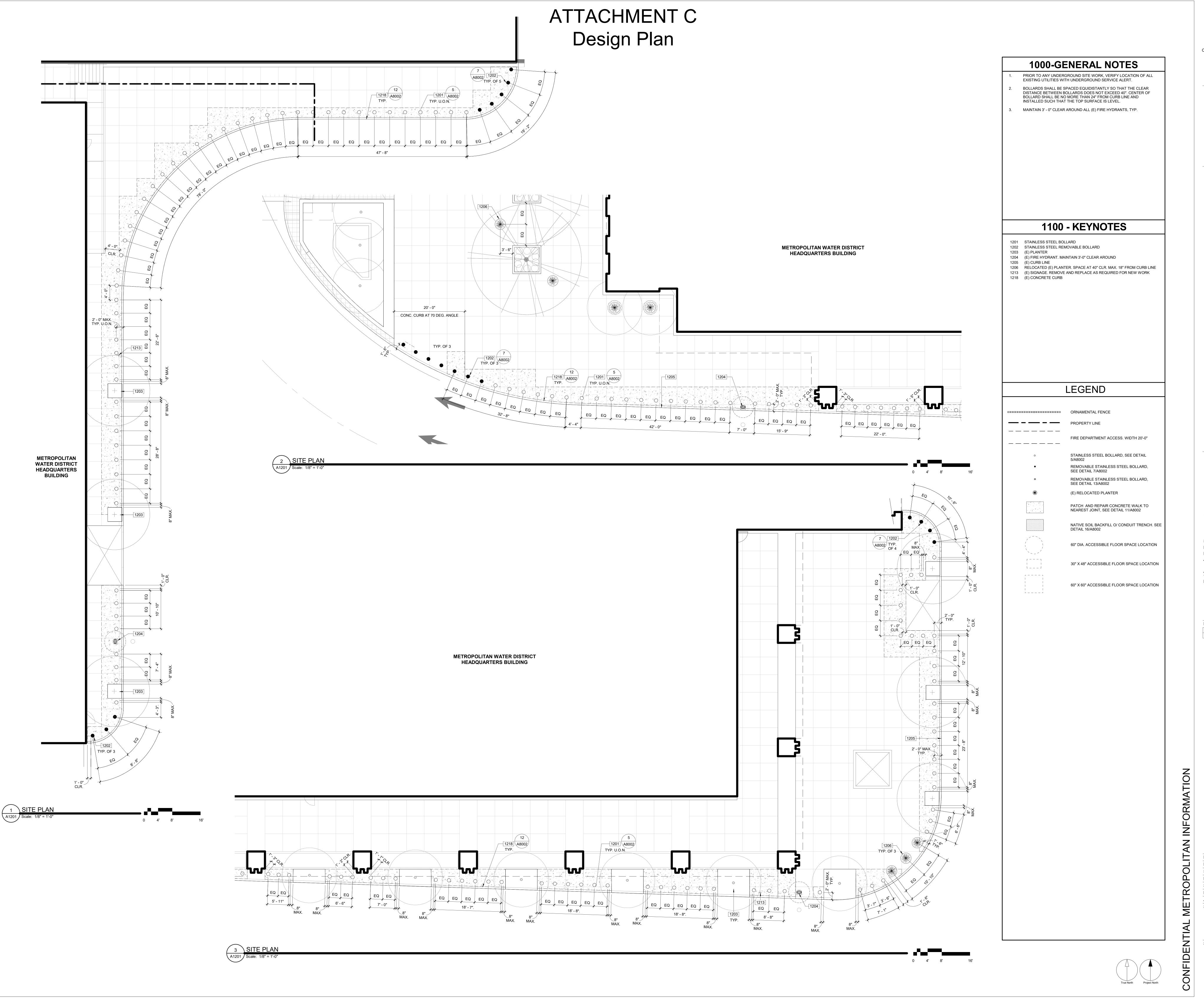
4 ENLARGED SITE PLAN - ORNAMENTAL FENCE NORTH WEST

A1200 Scale: 1/4" = 1'-0"

GATE SCHEDULE											
R No.	TYPE	MAT	FINISH	WIDTH	HEIGHT	HARDWARE	PANIC	SIGNAGE	DETAIL	REMARKS	DOOR No.
1	AA			7' - 0"	8' - 9"		Yes		18/A8001		1
2	BB			3' - 6"	8' - 4"		Yes		17/A8001		2
3	AA			7' - 0"	8' - 9"		Yes		18/A8001		3
4	AA			7' - 0"	8' - 9"		Yes		18/A8001		4

ORNAMENTAL FENCE

ARCHITECTURAL



IBI GROUP
1001 Wilshire Boulevard, Suite 100-3100,
Los Angeles, CA 90017, USA
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CONSULTANT:

STATE SEAL:

NA SOLION SOLION

PROJECT
HEADQUARTERS
BUILDING
EXTERIOR
PHYSICAL
SECURITY
IMPROVEMENTS

SPECIFICATION NO.: 2003
PROJECT NUMBER: 105168
DRAWING NUMBER:
APPROVAL SHEET NO.:

ADDRESS: 700 N. ALAMEDA ST. LOS ANGELES, CA 90012

ARC

OR TECH. MGR.:

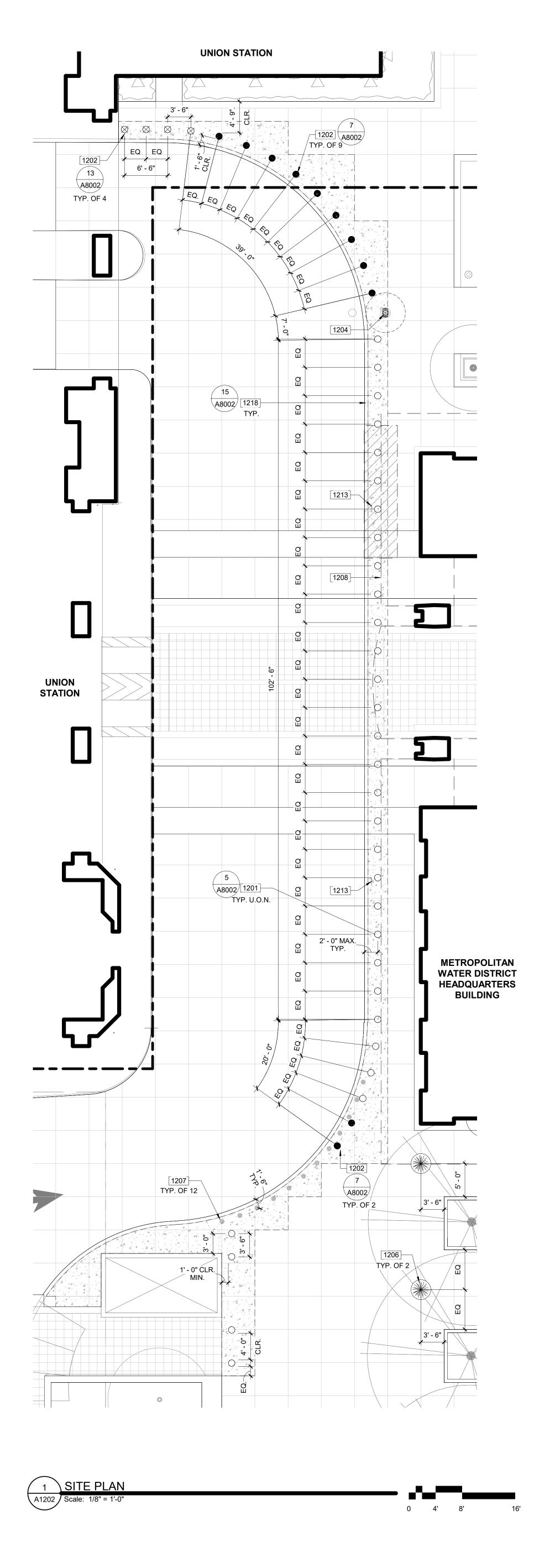
VN BY: AO

E: As in

04/2:

NO.: 1165

PHYSICAL SECURITY





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1000-GENERAL NOTES

EXISTING UTILITIES WITH UNDERGROUND SERVICE ALERT.

INSTALLED SUCH THAT THE TOP SURFACE IS LEVEL.

PRIOR TO ANY UNDERGROUND SITE WORK, VERIFY LOCATION OF ALL

BOLLARDS SHALL BE SPACED EQUIDISTANTLY SO THAT THE CLEAR DISTANCE BETWEEN BOLLARDS DOES NOT EXCEED 40". CENTER OF

BOLLARD SHALL BE NO MORE THAN 24" FROM CURB LINE AND

MAINTAIN 3' - 0" CLEAR AROUND ALL (E) FIRE HYDRANTS, TYP.

1100 - KEYNOTES

1206 RELOCATED (E) PLANTER. SPACE AT 40" CLR. MAX. 18" FROM CURB LINE

LEGEND

FIRE DEPARTMENT ACCESS. WIDTH 20'-0"

STAINLESS STEEL BOLLARD, SEE DETAIL

REMOVABLE STAINLESS STEEL BOLLARD,

REMOVABLE STAINLESS STEEL BOLLARD,

PATCH AND REPAIR CONCRETE WALK TO NEAREST JOINT, SEE DETAIL 11/A8002

NATIVE SOIL BACKFILL O/ CONDUIT TRENCH. SEE

60" DIA. ACCESSIBLE FLOOR SPACE LOCATION

30" X 48" ACCESSIBLE FLOOR SPACE LOCATION

60" X 60" ACCESSIBLE FLOOR SPACE LOCATION

SEE DETAIL 7/A8002

SEE DETAIL 13/A8002

DETAIL 16/A8002

(E) RELOCATED PLANTER

ORNAMENTAL FENCE

_ _ _ _ _ _ _

1213 (E) SIGNAGE. REMOVE AND REPLACE AS REQUIRED FOR NEW WORK

1201 STAINLESS STEEL BOLLARD

1207 (E) LANE MARKER 1208 (E) CANOPY ABOVE

1218 (E) CONCRETE CURB

1202 STAINLESS STEEL REMOVABLE BOLLARD

1204 (E) FIRE HYDRANT. MAINTAIN 3'-0" CLEAR AROUND

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PROJECT HEADQUARTERS **EXTERIOR** PHYSICAL SECURITY **IMPROVEMENTS**

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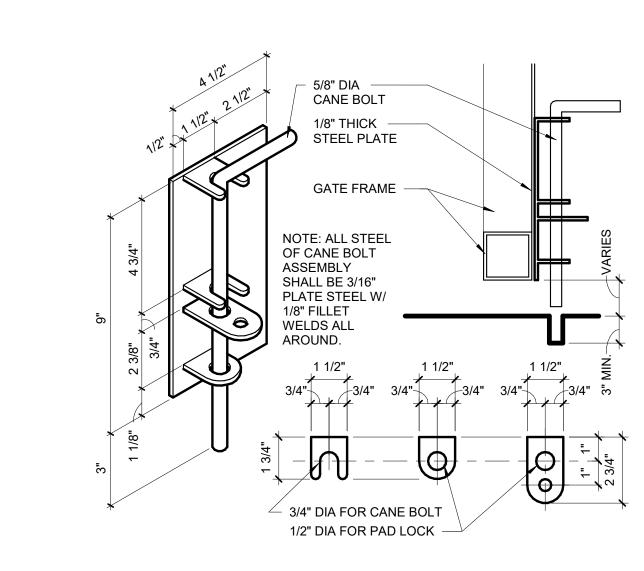
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DELTA TITLE DATE BY 50% CHECKSET MARCH 2021 IBI

ENLARGED SITE PLANS -PHYSICAL SECURITY

A1202

ARCHITECTURAL





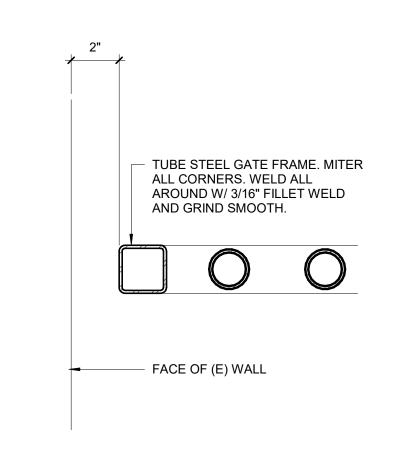
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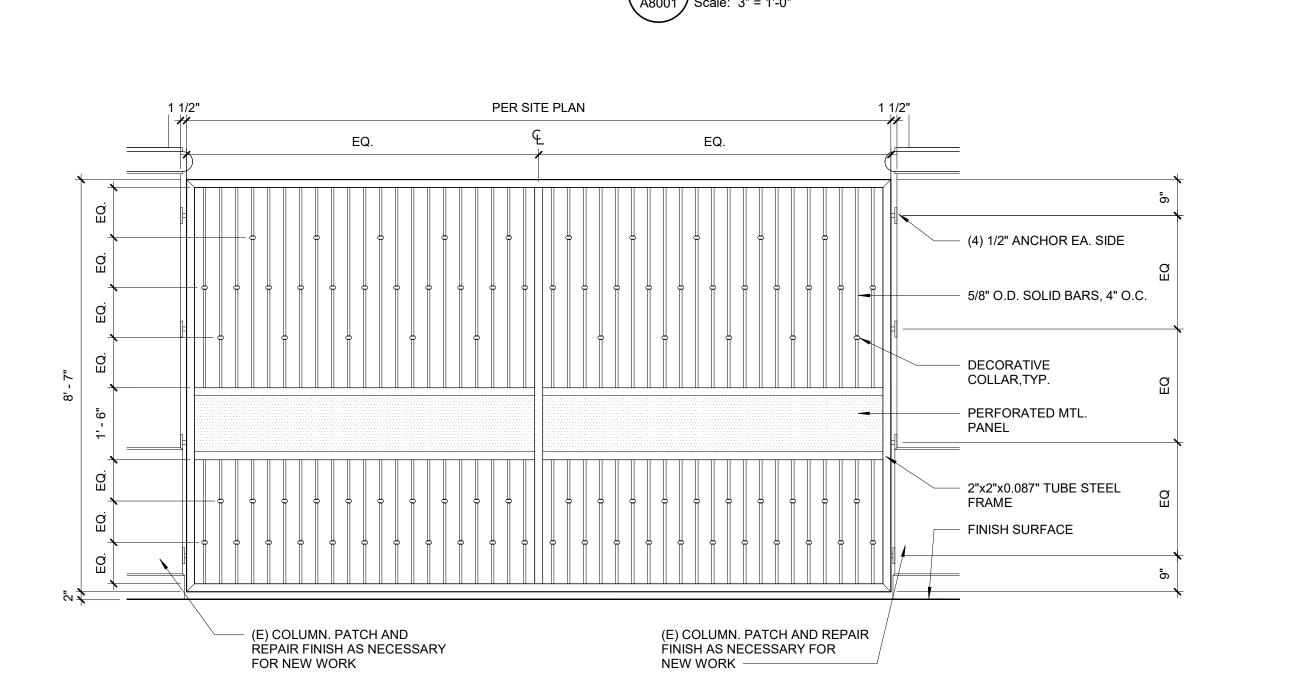




ORNAMENTAL FENCE FRAME @ WALL



PER GATE SCHEDULE - PICKETS PER DETAIL 6 / A8001 ORNAMETAL FENCE PER DETAIL 6 / A8001 HINGES PER GATE SCHEDULE - PANIC BAR SHIELD MOUNTING PLATE -MOUNTED ON HARDWARE PER GATE SCHEDULE INSIDE OF GATE FINISH SURFACE BASE PLATE AND ANCHOR, CANE BOLT, BASE PLATE AND ANCHOR, PATCH AND REPAIR PAVEMENT AS REQUIRED PATCH AND REPAIR PAVEMENT AS REQUIRED PER DETAIL 4 / A8001 FOR NEW WORK FOR NEW WORK **COURTYARD SIDE** ARCADE SIDE



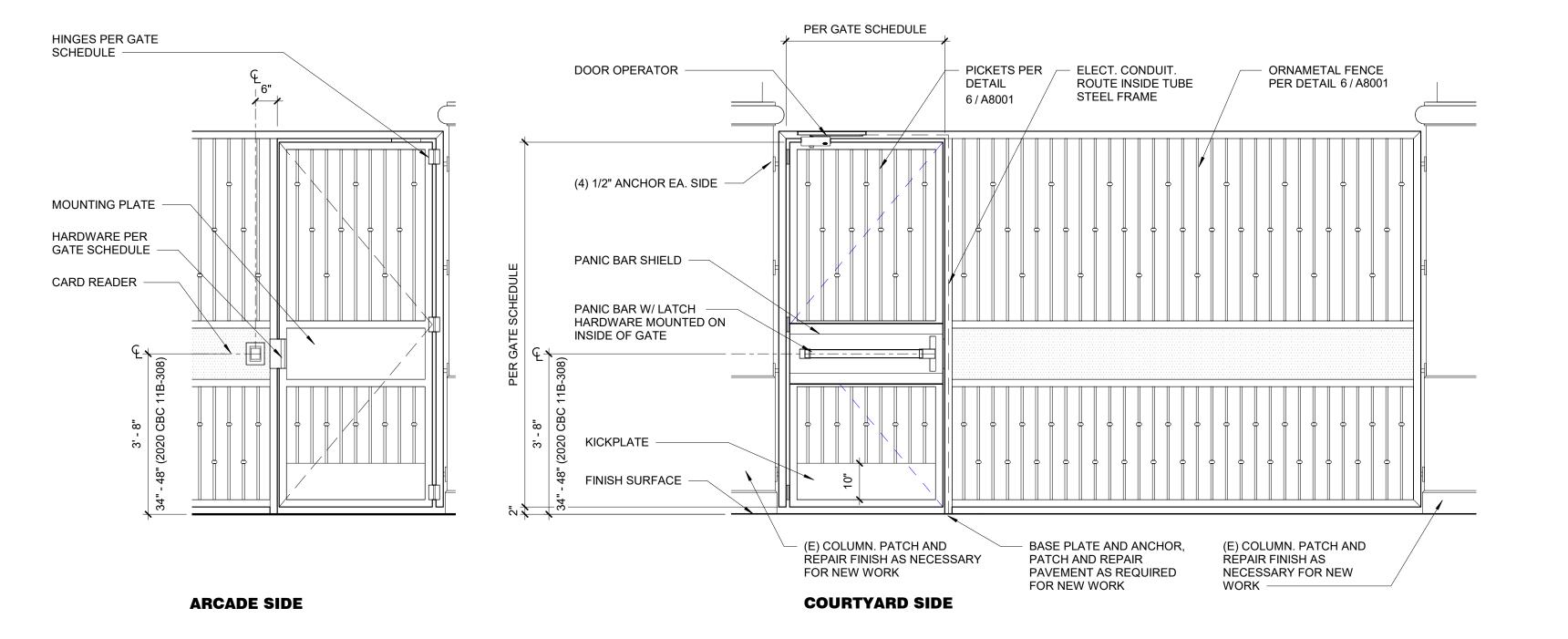
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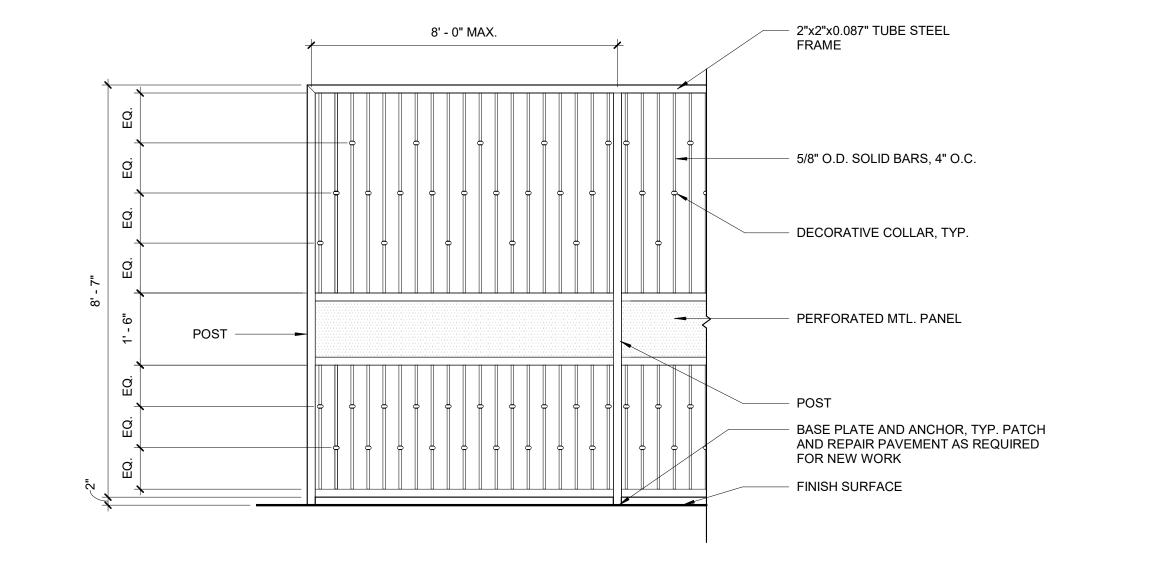
HEADQUARTERS

PROJECT

DELTATITLEDATEBY50% CHECKSETMARCH 2021IBI

18 ORNAMENTAL FENCE DOUBLE GATE 6 TYP. ORNAMENTAL FENCE ELEVATION AT ARCADE

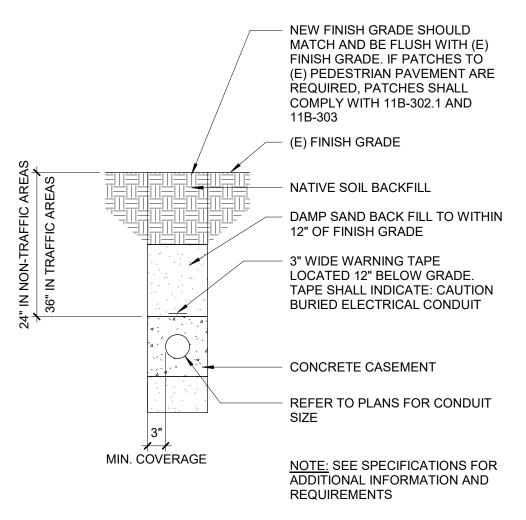


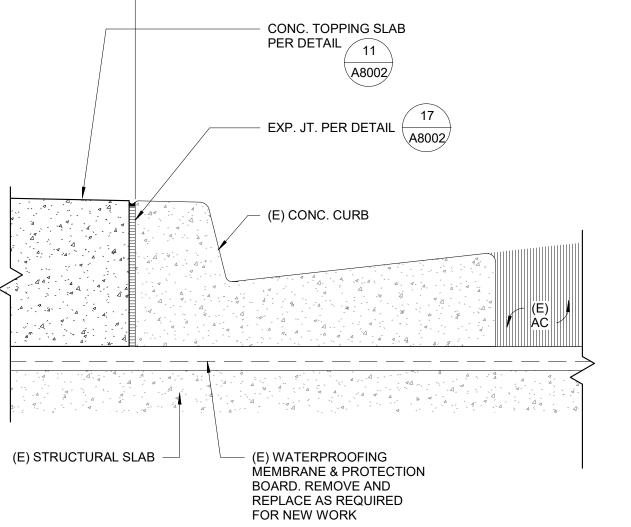


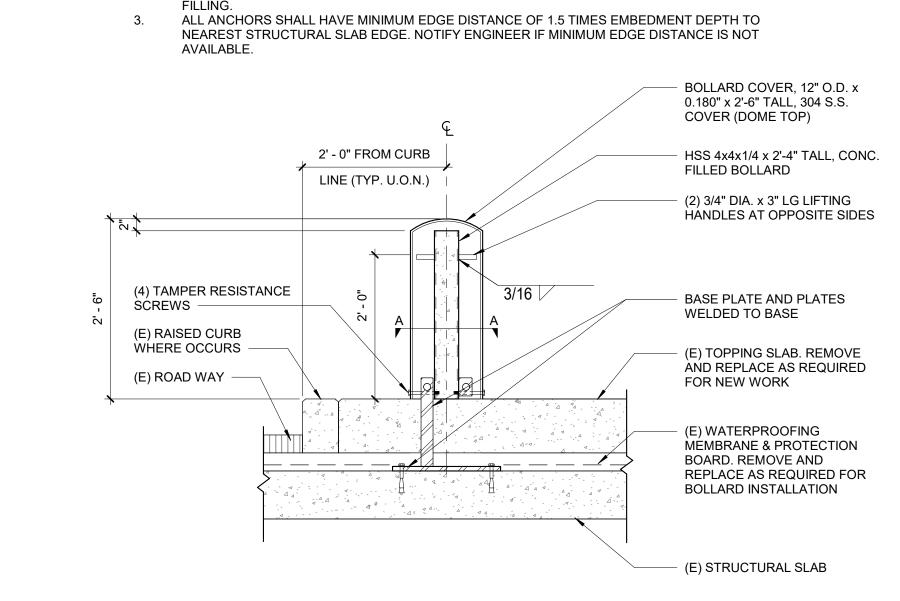
ARCHITECTURAL SENIOR TECH. MGR.: DRAWN BY: As indicated 04/22/21 116535 JOB NO.: SHEET TITLE .:

SHEET NO.: TYP. ORNAMENTAL FENCE ELEVATION

ORNAMENTAL FENCE SINGLE GATE

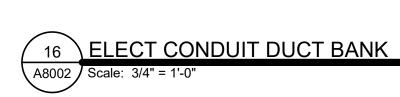




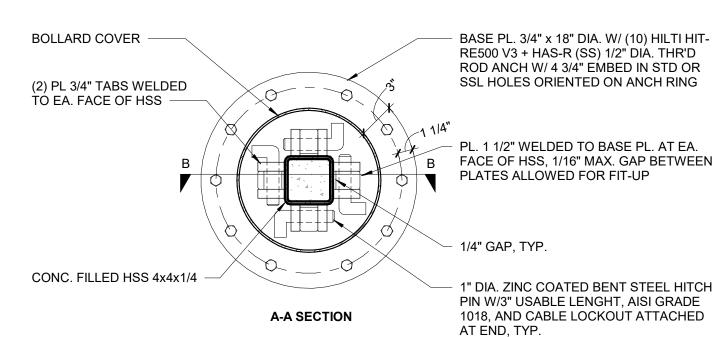


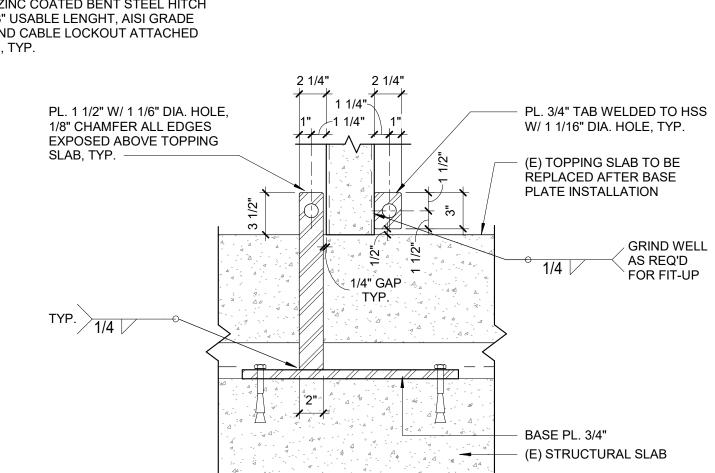
1. BOLLARD COVER MANUFACTURER SHALL PROVIDE INTERNAL FRAMEWORK. BETWEEN COVER AND HSS TO MAINTAIN POSITION OF COVER DURING NORMAL DAY-TO-DAY OPERATIONS.

HOT-DIPPED GALVANIZED BASE PLATE ASSEMBLY AND HSS4X4 ASSENBLY PRIOR TO CONCRETE

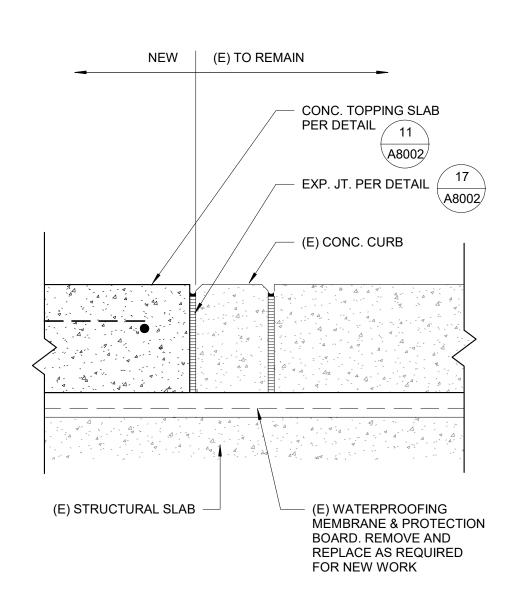




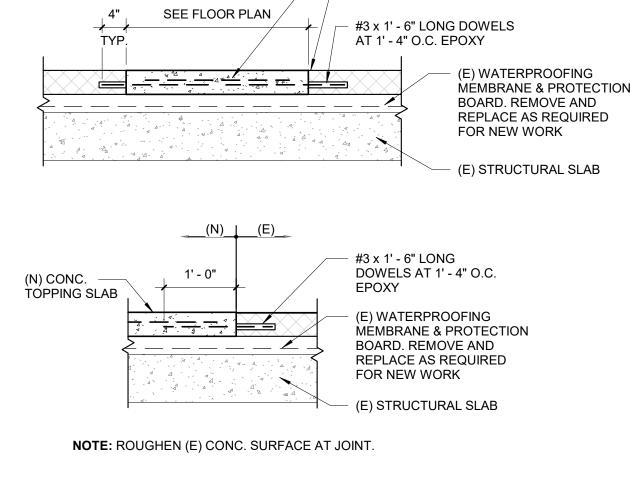




B-B SECTION

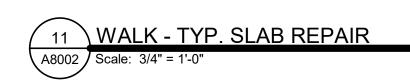


15 WALK - CONCRETE - FLUSHED CURB

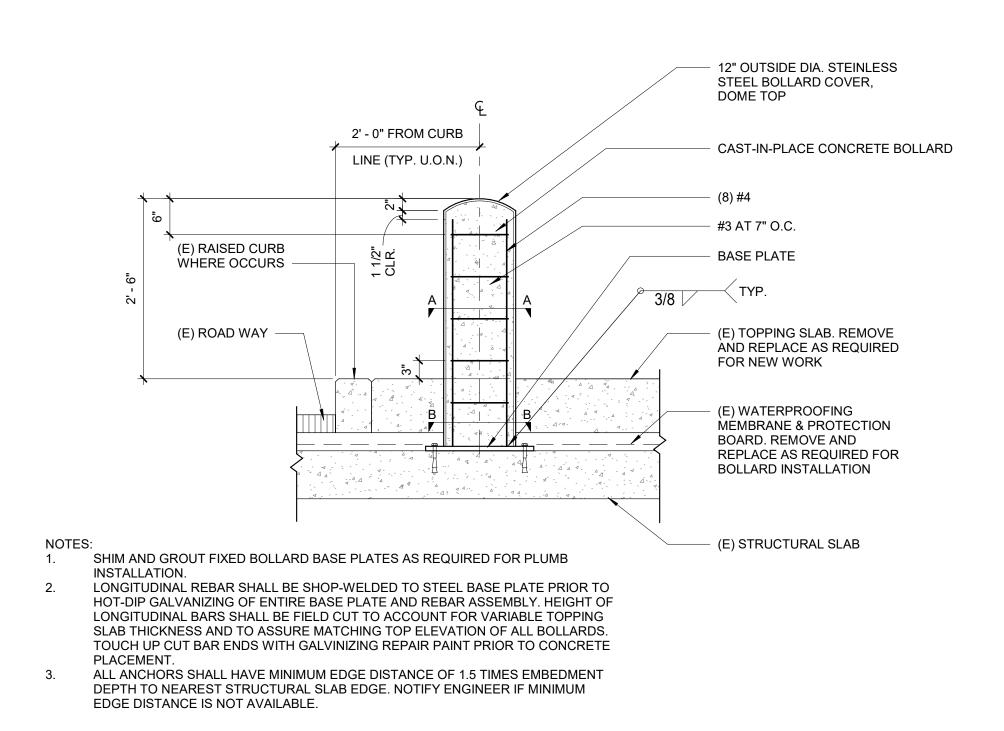


- #4 AT 1' - 4" O.C. EACH WAY

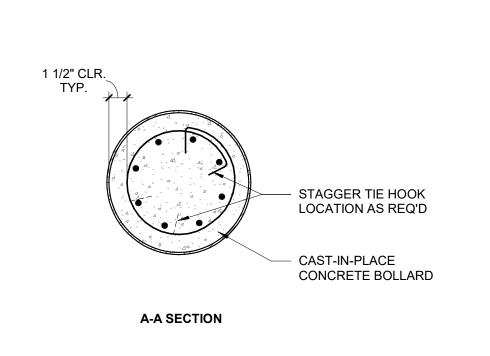
- SAWCUT AS REQUIRED

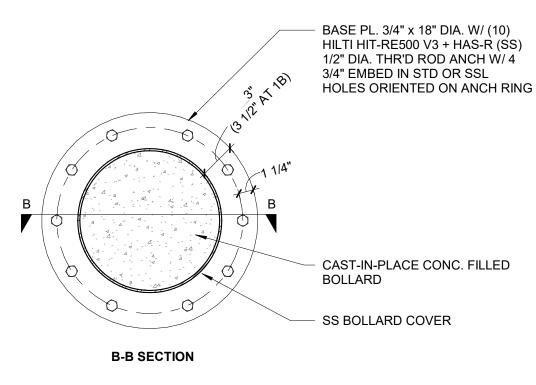






PENDING DETAIL COORDINATION





NOTE: AT DETAIL 1B, USE BASE PL. 3/4"x19"DIA. W/(12) HILTI HIT-RE500 V3 + HAS-R (SS) 1/2" DIA. THR'D ROD ANCH W/ 3 3/4" EMBED IN STD OR SSL HOLES ORIENTED ON ANCH RING

- JOINT SEALANT - 1/2" EXPANSION JOINT MATERIAL - #4 x 18" LONG SMOOTH DOWELS AT 18" O.C. 3" MINIMUM, TYPICAL CONC. REINF. PER SITE PROVIDE SLEEVE OR GREASE END CONC. PAVING WITH 3/16" RADIUS TOOLED EDGES (E) WATERPROOFING MÉMBRANE & PROTECTION BOARD. REMOVE AND REPLACE AS REQUIRED FOR NEW WORK 9" MINIMUM 9" MINIMUM - (E) STRUCTURAL SLAB

17 WALK - EXPANSION JOINT

13 BOLLARD - REMOVABLE

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STATE SEAL:

PROJECT HEADQUARTERS BUILDING **EXTERIOR** PHYSICAL SECURITY **IMPROVEMENTS**

SPECIFICATION NO.: 2003 PROJECT NUMBER: DRAWING NUMBER: APPROVAL SHEET NO.:

ADDRESS: 700 N. ALAMEDA ST. LOS ANGELES, CA 90012

REVISIONS: DATE BY DELTA TITLE

ARCHITECTURAL SENIOR TECH. MGR.: DRAWN BY: Author As indicated 04/22/21 116535 SHEET TITLE .:

SHEET NO.:

ATTACHMENT D - Proposed Easement Map

