



Board Report

File #: 2021-0285, File Type: Agreement

Agenda Number: 5.

FINANCE, BUDGET, AND AUDIT COMMITTEE JUNE 16, 2021

SUBJECT: REAL ESTATE AGREEMENTS WITH THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA (MWD) FOR SECURITY IMPROVEMENTS AROUND MWD COURTYARD AND HEADQUARTERS BUILDING AT UNION STATION

ACTION: APPROVE RECOMMENDATIONS

RECOMMENDATION

CONSIDER:

- A. AUTHORIZING the Chief Executive Officer (CEO) or their designee to execute an easement to The Metropolitan Water District of Southern California (MWD) in which the Los Angeles County Metropolitan Transportation Authority (LACMTA) agrees to grant to MWD, and take all necessary steps to record, certain "Real Estate Interests" in the LACMTA-owned property located at the southernmost end of Union Station adjacent to MWD-owned property ("Permanent Easement"); and
- B. AUTHORIZING the CEO or their designee to execute a Second Amendment to the Agreement and Declaration of Covenants, Conditions, and Restrictions (CC&Rs) recorded on May 31, 1996 between MWD and Catellus Development Corporation.

ISSUE

In February 2018, MWD's Board authorized final design of the physical security improvements to MWD headquarters. To expedite completion of the most critical upgrades, the upgrade work was prioritized and staged. Stage 1 upgrades improved exterior surfaces. Stage 2 upgrades enhanced access control and interior security protection. Stage 3 improvements will enhance perimeter security.

For MWD to move forward with stage 3 of MWD headquarter physical security improvements, MWD requires LACMTA to grant a Permanent Easement and amend the current CC&Rs for Union Station.

BACKGROUND

MWD acquired its headquarters site in 1996, which predates LACMTA's acquisition in 2011. In 1996 easements were granted to MWD for the roadway, utility, north sewer and storm drain. During the

same year, CC&Rs were established between Catellus Development Corporation and MWD to ensure that the properties were developed, used and maintained as a high quality, unified development and to establish certain reciprocal rights for uses of common areas.

The MWD Headquarters Building is a 522,682 square-foot, concrete-frame structure consisting of a 12-story high-rise tower attached to a five-story wing. The building is located next to the Union Station transportation hub. The business functions located in this building are critical for maintaining the continuity of MWD's day-to-day operations. The Headquarters Building includes office space for approximately 840 MWD staff and meeting space for the Board of Directors and members of the public. MWD began occupying the Headquarters Building in 1998.

A threat and physical security assessment of the Headquarters Building was completed by MWD consultants in 2016. This assessment recommended the addition of several physical features to enhance the building's perimeter security, access control, and interior security protection systems. These recommendations are in conformity with best security practices for government buildings as stated in guidelines provided by the U.S. Department of Homeland Security. The recommended features to be added in a multi-phased approach include additional cameras, sensors and barriers, improved access control, and improved communication systems. Stage 3 improvements will enhance perimeter security along the exterior of the MWD site and courtyard and require real property rights from LACMTA.

DISCUSSION

Temporary fencing was installed around the MWD courtyard in 2018. MWD is now finalizing phase 3 of their security project which includes permanent physical security enhancements to the MWD courtyard and front entrance to the MWD HQ building. Permanent fencing will eventually replace the current temporary fencing. The transition is expected to be seamless as temporary fencing will remain up until the new permanent fencing is installed.

The permanent fencing design proposed will include four gates total, three main access gates and one after-hours gate. All gates will remain opening during business hours, except during lunch hours. During lunch hours, visitors will still have access to MWD cafeteria and courtyard through the West Visitors' entrance. Gates will be closed and locked after business hours. In addition to fencing, 23 bollards (10 stationary, 13 removable) are proposed to be installed throughout the easement. All fencing and bollards are subject to LACMTA standard guidelines and LACMTA will be given a set of keys to unlock the new removable bollards. The location of the improvements is depicted as Option 1 on Attachment A and further depicted in Attachments B, C and D.

Permanent Easement

The above-described improvements require a permanent easement of 1,148 square feet for MWD to install, construct, maintain, repair, replace, reconstruct and operate fences, gates and bollards.

The easements are mutually beneficial and in conformity with best security practices for government buildings as stated in guidelines provided by the U.S. Department of Homeland Security. Staff proposes to provide them at no charge to MWD. The fees for temporary rights during construction were waived by LACMTA.

Description of Amendment to Union Station CC&Rs

A second amendment to the CC&Rs is required to allow the closure of MWD's courtyard during lunch hours and after business hours. Currently, the CC&Rs allow partial closure of the courtyard during lunch hours.

Equity Platform

This addresses LACMTA's equity platform by focusing and delivering improvements, management and organized use of MWD plaza on Union Station property for the safety of businesses and transit customers.

DETERMINATION OF SAFETY IMPACT

This project will increase safety throughout plaza areas at Union Station.

FINANCIAL IMPACT

There is no financial impact to LACMTA. All construction and maintenance costs for fence, gates and bollards shall be borne by MWD.

Impact to Budget

No impact to budget

IMPLEMENTATION OF STRATEGIC PLAN GOALS

The recommendation supports strategic plan Goal 2: Outstanding trip experience for all users of the transportation system. 2.1 Metro is committed to improving security. Action: Explore and implement prevention tactics, promote prevention as a first measure to reduce frequency and severity of crimes.

ALTERNATIVES CONSIDERED

The Board could choose not to approve the recommendations. This is not recommended as it will hamper safety and security improvements at the MWD Plaza.

NEXT STEPS

Once the easement is granted, recorded and the CC&Rs are updated, MWD will obtain its building permits to construct the MWD Project.

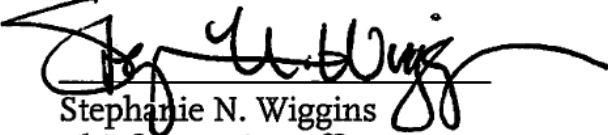
ATTACHMENTS

- Attachment A - Fencing Plan & Alternatives
- Attachment B - Fence Design and Bollard Look
- Attachment C - Design Plan
- Attachment D - Proposed Easement Map

Prepared by: Ken Pratt, DEO, Countywide Planning & Development, (213) 922-6288

John Potts, Executive Officer, Countywide Planning & Development, (213) 928-3397
Holly Rockwell, SEO - Real Estate, Transit Oriented Communities and Transportation
Demand Management, (213) 922-5585

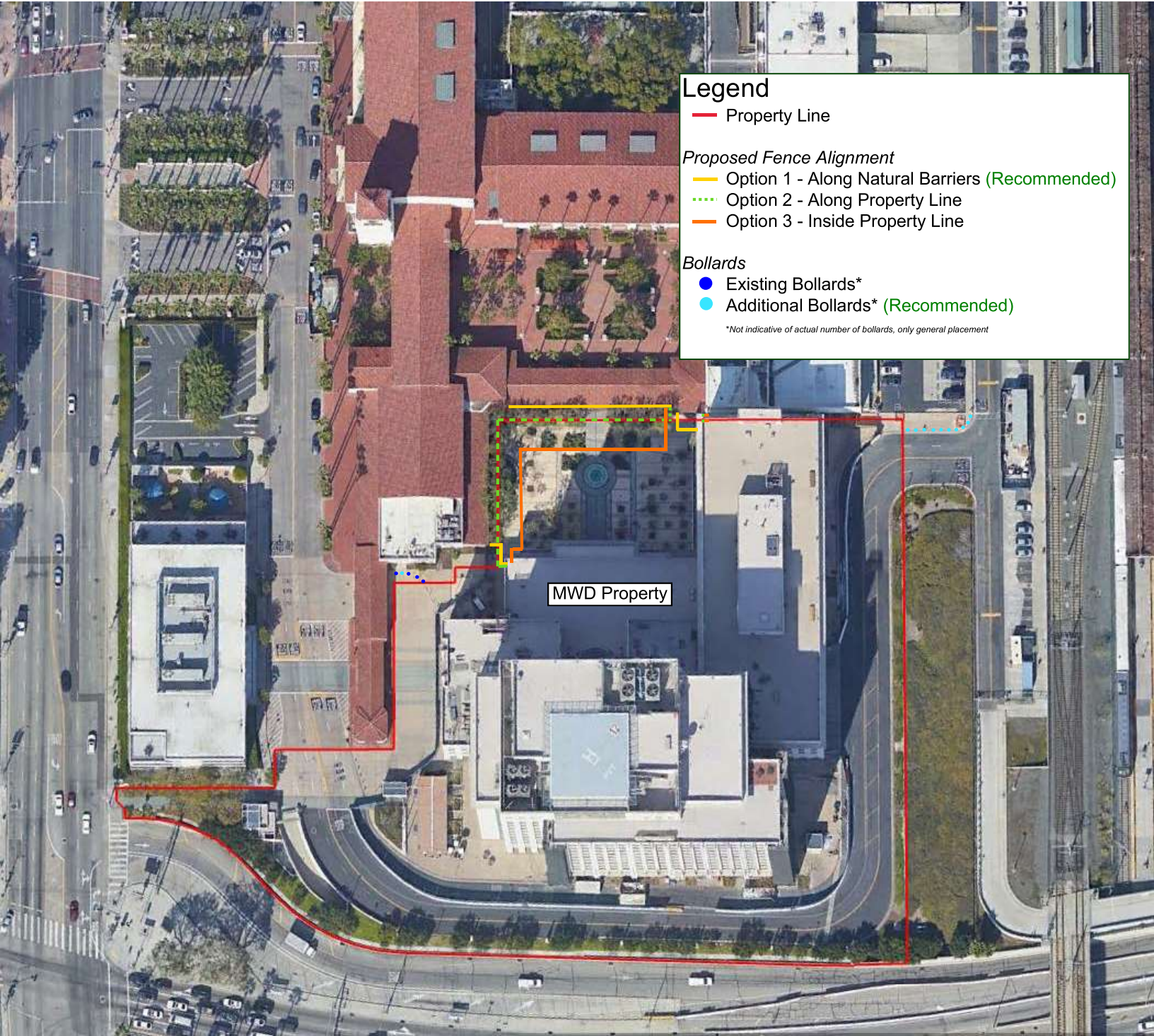
Reviewed by: James de la Loza, Chief Planning Officer, (213) 922-2920



Stephanie N. Wiggins
Chief Executive Officer

ATTACHMENT A

Fencing Plan & Alternatives



Legend

— Property Line

Proposed Fence Alignment

— Option 1 - Along Natural Barriers (Recommended)

... Option 2 - Along Property Line

— Option 3 - Inside Property Line

Bollards

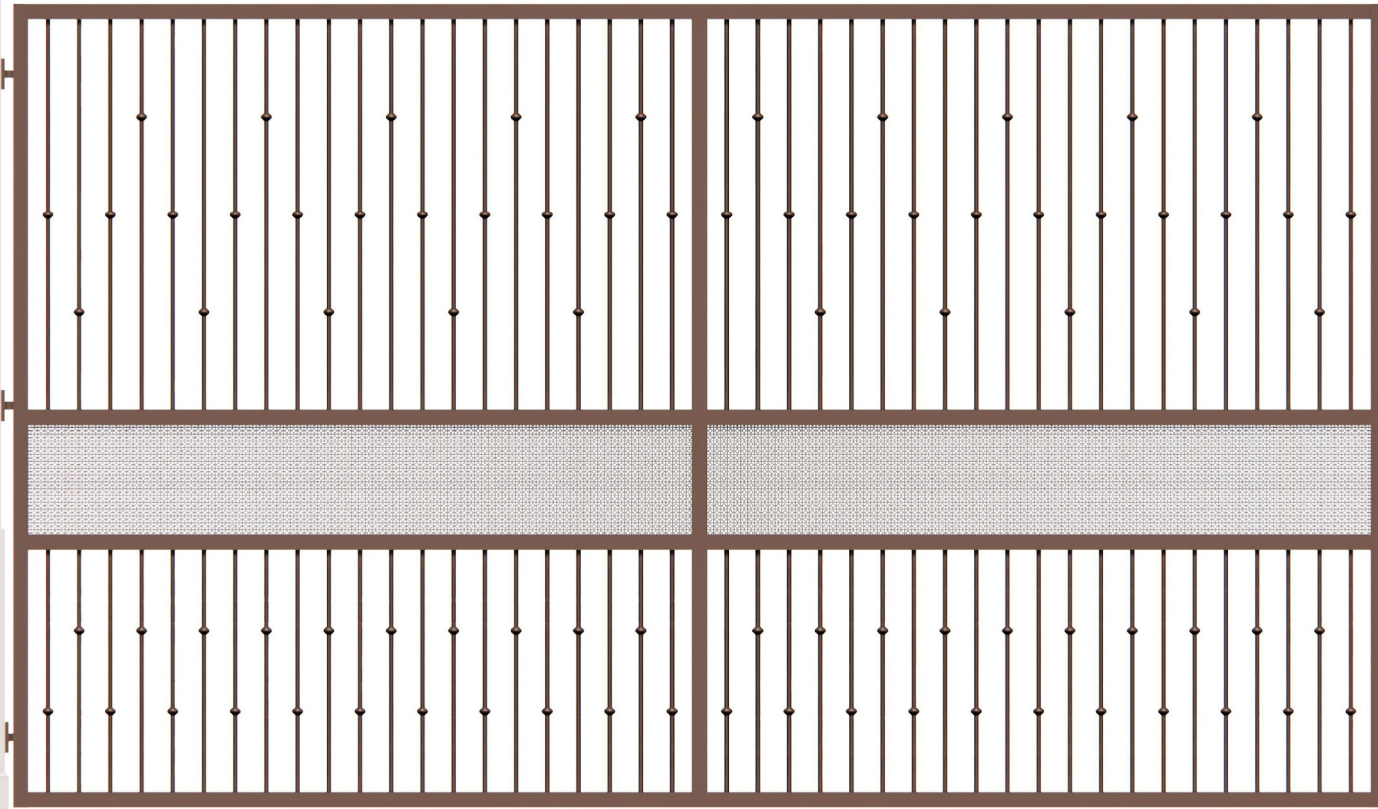
● Existing Bollards*

● Additional Bollards* (Recommended)

*Not indicative of actual number of bollards, only general placement

MWD Property

ATTACHMENT B
Fence Design and Bollard Look



Typical Fence Elevation at Arcade

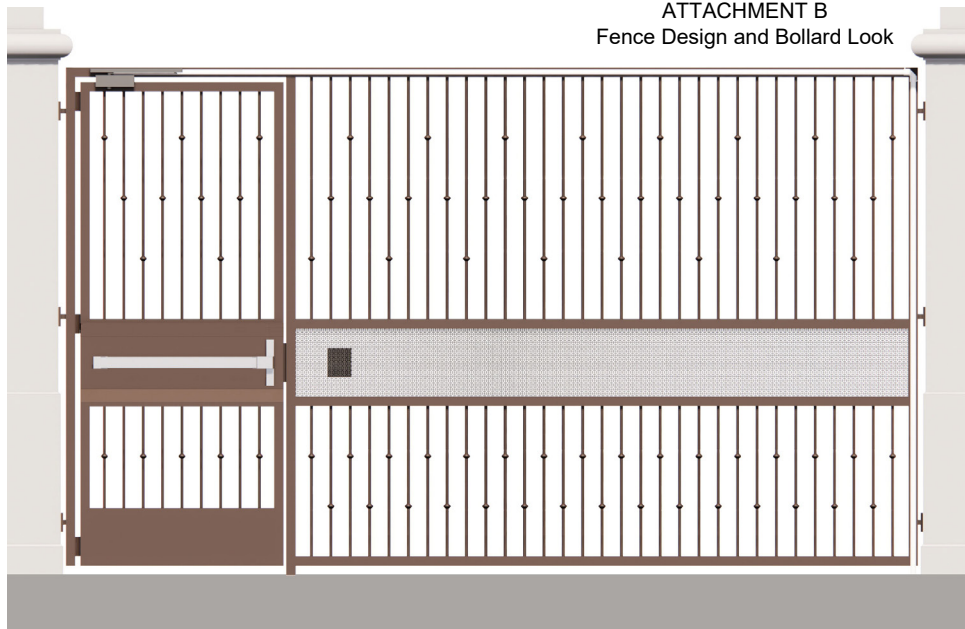
Ornamental Fence Design

Headquarters Building Exterior Physical Security Improvements
116535

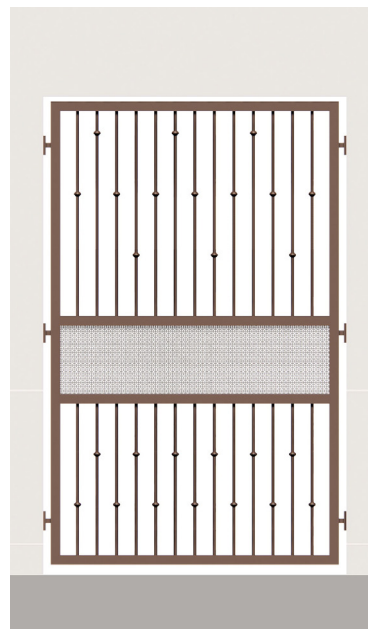
2021/01/28



ATTACHMENT B
Fence Design and Bollard Look



Single Gate Elevation



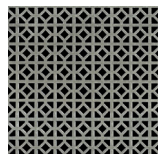
Short Fence Elevation



5/8" pickets



1-1/2"W x
1"H



Perforated
Metal Panel



Double Gate Elevation

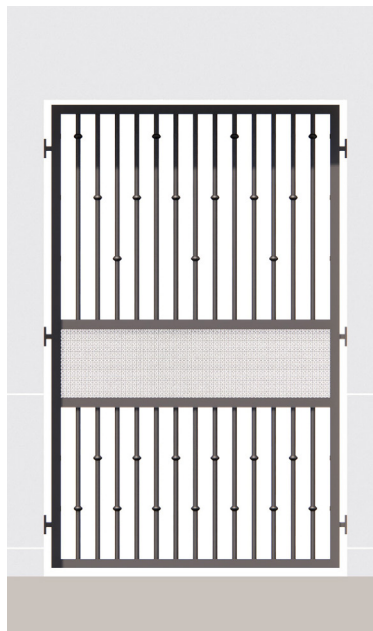
Ornamental Fence Design

Headquarters Building Exterior Physical Security Improvements
116535

2021/01/28



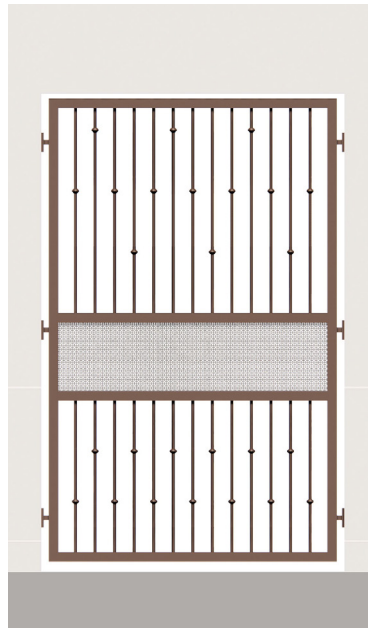
ATTACHMENT B
Fence Design and Bollard Look



Picket Design Option 2



Picket Design Option 3



**Combination
Fence Color: Brown
(Recommended)**

Ornamental Fence Design



Stainless Steel Bollard Designs



Domed Stainless Steel
(Recommended)



Modern Stainless Steel

ATTACHMENT C
Design Plan



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*HEADQUARTERS BUILDING
PHYSICAL SECURITY IMPROVEMENTS*

PROJECT
HEADQUARTERS
BUILDING
EXTERIOR
PHYSICAL
SECURITY
IMPROVEMENTS

SPECIFICATION NO.: 2003
PROJECT NUMBER: 105168
DRAWING NUMBER:
APPROVAL SHEET NO.:

ADDRESS:
700 N. ALAMEDA ST.
LOS ANGELES, CA 90012

REVISIONS:

DELTA	TITLE	DATE	BY

PROJECT TEAM

OWNER:
METROPOLITAN WATER DISTRICT
700 N. ALAMEDA STREET
LOS ANGELES, CA 90012
PHONE: (213) 217-7080
FAX: -
CONTACT: MIKE CLAISSE
PROJECT MANAGER

ARCHITECT:
IBI GROUP
315 W 9TH STREET
LOS ANGELES, CA 90015
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CONTACT: CRAIG ATKINSON
ARCHITECT OF RECORD

STRUCTURAL:
ABS CONSULTING
300 COMMERCE DRIVE, SUITE 150
IRVINE, CA 92602
PHONE: (714) 734-2583
FAX: -
CONTACT: TRACY RICH
PROJECT MANAGER

PM: GENERAL
PE:
SENIOR TECH. MGR.:
DRAWN BY: AO
SCALE:
DATE: 04/22/21
JOB NO.: 116535
SHEET TITLE:

COVER SHEET

SHEET NO.:

G0000

CONFIDENTIAL METROPOLITAN INFORMATION

ATTACHMENT C Design Plan

CONSULTANT:

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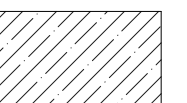
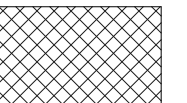
1000-GENERAL NOTES

1. PRIOR TO ANY UNDERGROUND SITE WORK, VERIFY LOCATION OF ALL EXISTING UTILITIES WITH UNDERGROUND SERVICE ALERT.
2. BOLLARDS SHALL BE SPACED EQUIDISTANTLY SO THAT THE CLEAR DISTANCE BETWEEN BOLLARDS DOES NOT EXCEED 40". CENTER OF BOLLARD SHALL BE NO MORE THAN 24" FROM CURB LINE AND INSTALLED SUCH THAT THE TOP SURFACE IS LEVEL.
3. MAINTAIN 3'-0" CLEAR AROUND ALL (E) FIRE HYDRANTS, TYP.

1000 - DEMOLITION KEYNOTES

- 1101 REMOVE (E) BOLLARD AND ALL ASSOCIATED FOOTINGS AND ANCHORS
- 1102 (E) SIGNAGE, REMOVE AND REPLACE AS REQUIRED FOR NEW WORK
- 1103 (E) FIRE HYDRANT TO REMAIN
- 1104 REMOVE (E) CONCRETE DOT MARKER
- 1105 REMOVE AND RELOCATE (E) MOVEABLE CONCRETE BOLLARD
- 1106 REMOVE AND RELOCATE (E) PLANTER, REFER TO SITE PLAN FOR NEW LOCATION
- 1107 (E) CONCRETE CURB TO REMAIN, SEE DETAILS 101A8002 AND 111A8002
- 1108 REMOVE (E) HARDSCAPE
- 1109 TRENCHING OF (E) LANDSCAPING FOR CONDUIT PLACEMENT

LEGEND

-  REMOVE (E) PAVEMENT, PATCH AND PREPARE FOR NEW WORK
-  TRENCHING OF (E) LANDSCAPING FOR CONDUIT PLACEMENT

PROJECT HEADQUARTERS BUILDING EXTERIOR PHYSICAL SECURITY IMPROVEMENTS

SPECIFICATION NO.: 2003
PROJECT NUMBER: 105168
DRAWING NUMBER:
APPROVAL SHEET NO.:

ADDRESS:
700 N. ALAMEDA ST.
LOS ANGELES, CA 90012

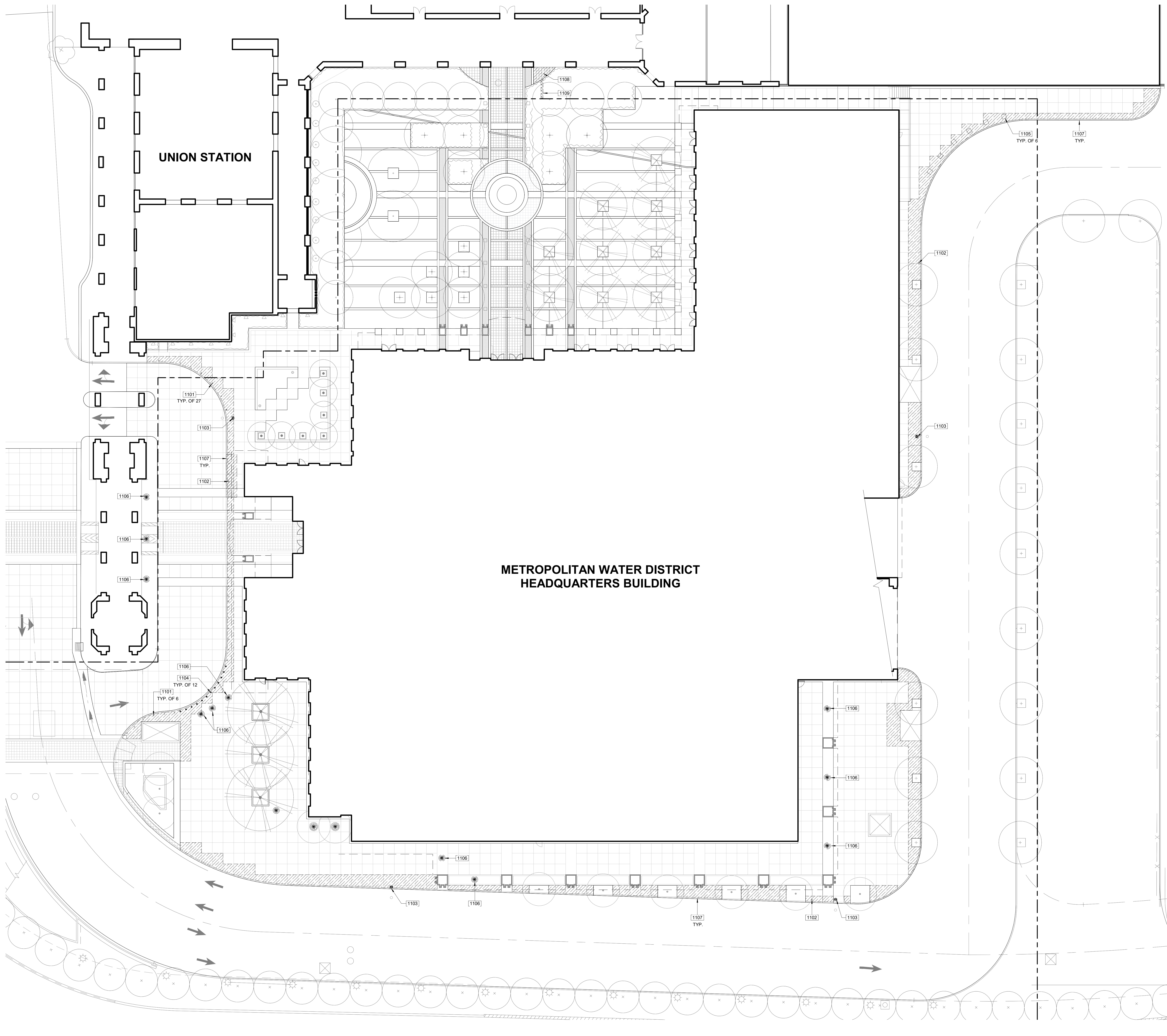
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DELTA	TITLE	DATE	BY
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PM:	ARCHITECTURAL
PE:	
SENIOR TECH. MGR.:	AO
DRAWN BY:	As Indicated
DATE:	04/22/21
JOB NO.:	116535
SHEET TITLE:	SITE DEMOLITION PLAN

SHEET NO.:

A1000

CONFIDENTIAL METROPOLITAN INFORMATION



1 SITE DEMOLITION PLAN
A1000 Scale: 1/16" = 1'-0"

ATTACHMENT C Design Plan

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1000-GENERAL NOTES

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3. MAINTAIN 3' - 0" CLEAR AROUND ALL (E) FIRE HYDRANTS, TYP.

LEGEND

-----	ORNAMENTAL FENCE
-----	PROPERTY LINE
-----	FIRE DEPARTMENT ACCESS, WIDTH 20'-0"
○	STAINLESS STEEL BOLLARD, SEE DETAIL 5/A8002
●	REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 7/A8002
●	REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 13/A8002
●	(E) RELOCATED PLANTER
■	PATCH AND REPAIR CONCRETE WALK TO NEAREST JOINT, SEE DETAIL 11/A8002
■	NATIVE SOIL BACKFILL O' CONDUIT TRENCH, SEE DETAIL 16/A8002

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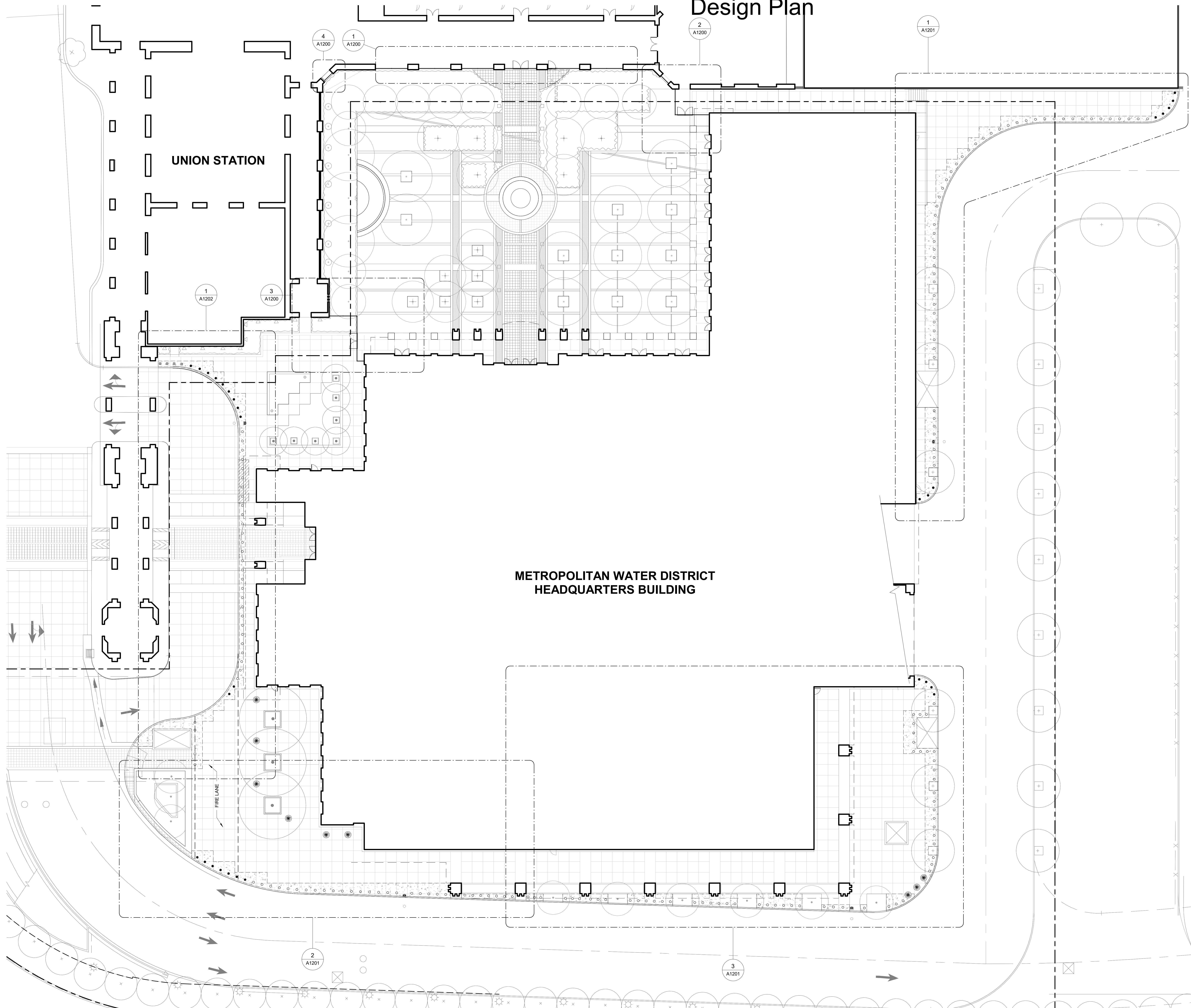
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PE:	SENIOR TECH. MGR.:
DRAWN BY:	AO
SCALE:	As Indicated
DATE:	04/22/21
JOB NO.:	116535
SHEET TITLE:	SITE PLAN

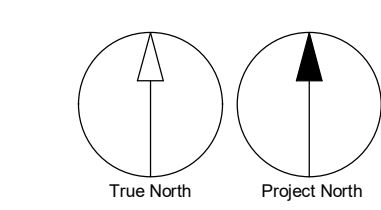
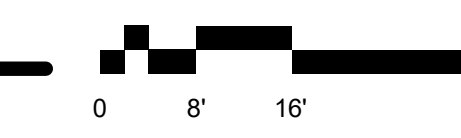
SHEET NO.:

A1100

CONFIDENTIAL METROPOLITAN INFORMATION



1 SITE PLAN
A1100 Scale: 1/16" = 1'-0"



ATTACHMENT C Design Plan

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1000-GENERAL NOTES

- PRIOR TO ANY UNDERGROUND SITE WORK, VERIFY LOCATION OF ALL EXISTING UTILITIES WITH UNDERGROUND SERVICE ALERT.
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- MAINTAIN 3'-0" CLEAR AROUND ALL (E) FIRE HYDRANTS, TYP.

1100 - KEYNOTES

- 1210 GARD READER
1212 (E) CONCRETE COLUMN WITH PLASTER FINISH. PATCH AND REPAIR FINISH AS NECESSARY FOR NEW WORK
1215 ORNAMENTAL FENCE PER DETAIL 6/A8001
1216 ORNAMENTAL FENCE PER DETAIL 6/A8001
1221 (E) CONCRETE WALL WITH PLASTER FINISH. PATCH AND REPAIR FINISH AS NECESSARY FOR NEW WORK
1222 ELECTRICAL CONDUIT

LEGEND

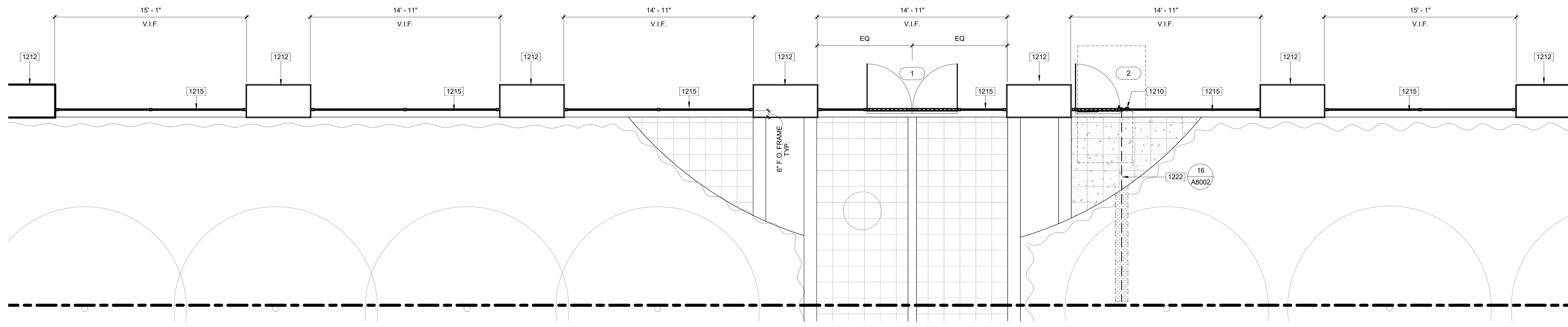
- ORNAMENTAL FENCE
- PROPERTY LINE
- FIRE DEPARTMENT ACCESS, WIDTH 20'-0"
- o STAINLESS STEEL BOLLARD, SEE DETAIL 6/A8002
- REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 7/A8002
- REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 13/A8002
- (E) RELOCATED PLANTER
- PATCH AND REPAIR CONCRETE WALK TO NEAREST JOINT, SEE DETAIL 11/A8002
- NATIVE SOIL BACKFILL OF CONDUIT TRENCH, SEE DETAIL 16/A8002
- o 60" DIA. ACCESSIBLE FLOOR SPACE LOCATION
- o 30" X 48" ACCESSIBLE FLOOR SPACE LOCATION
- o 60" X 60" ACCESSIBLE FLOOR SPACE LOCATION

PROJECT HEADQUARTERS BUILDING EXTERIOR PHYSICAL SECURITY IMPROVEMENTS

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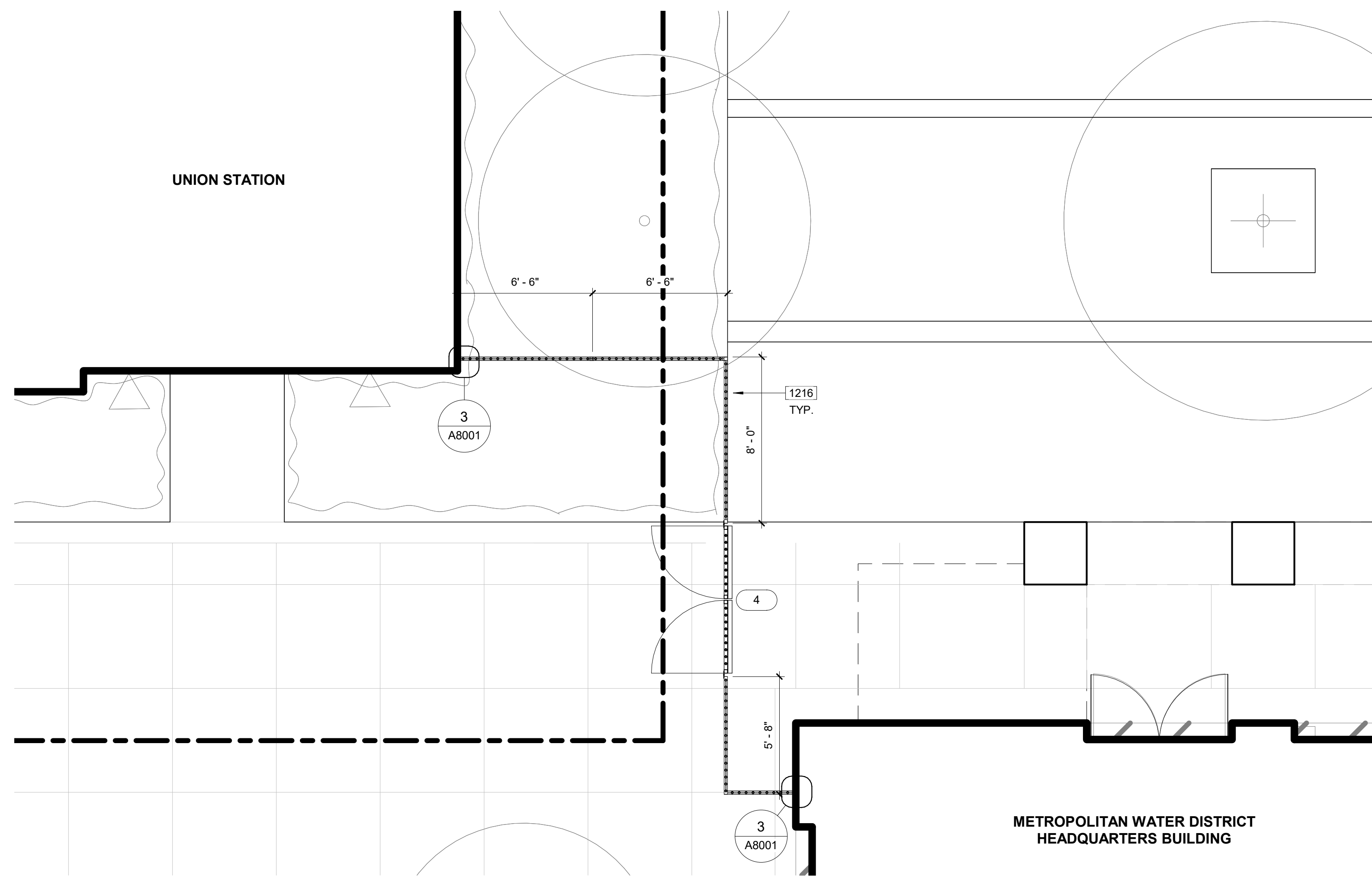
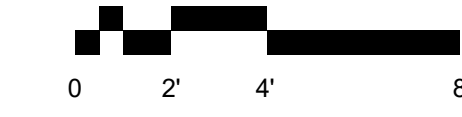
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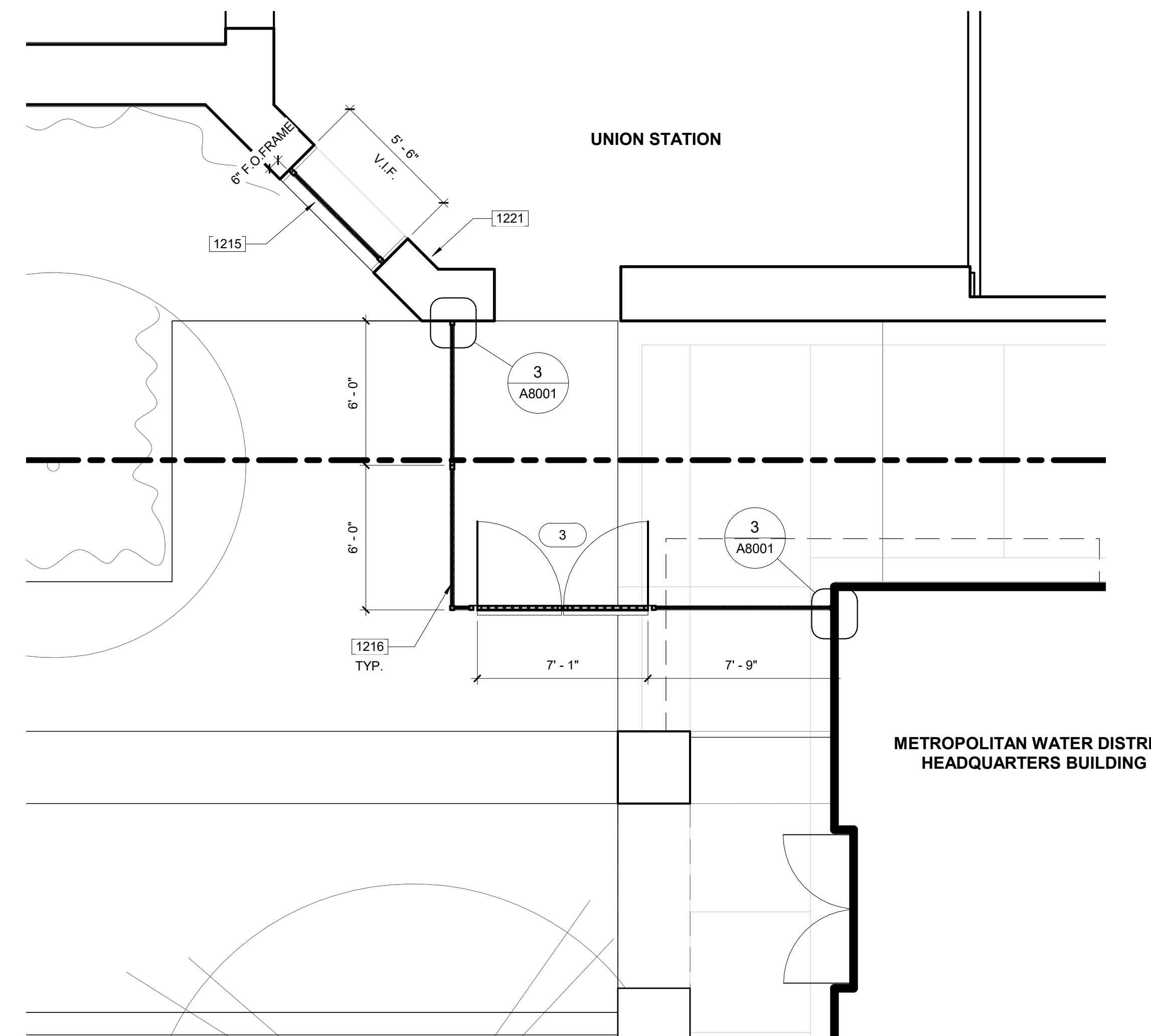
1 ENLARGED SITE PLAN - ORNAMENTAL FENCE NORTH

A1200 Scale: 1/4" = 1'-0"



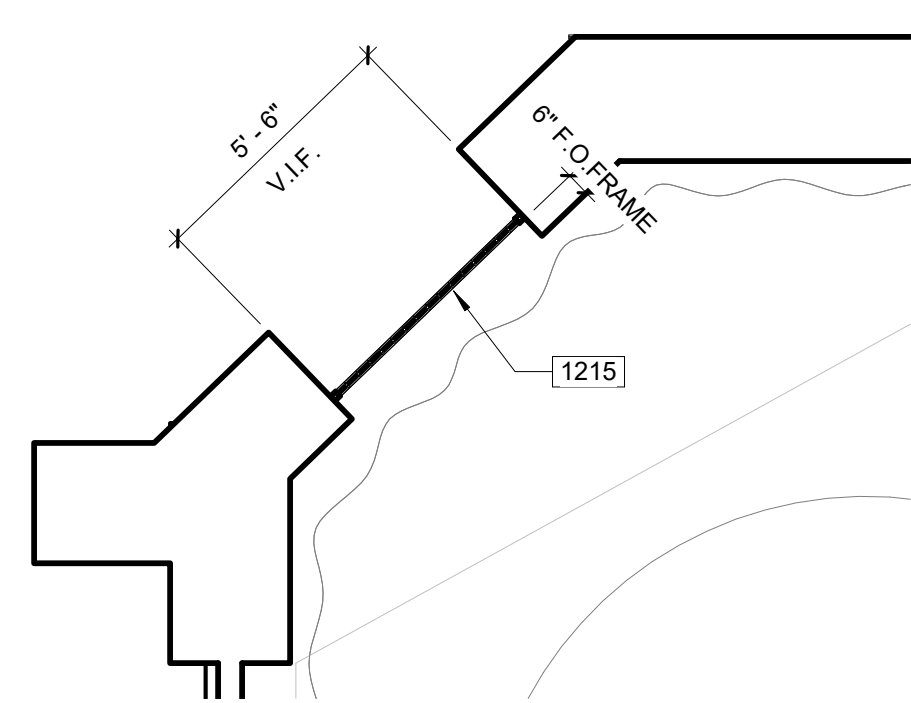
3 ENLARGED SITE PLAN - ORNAMENTAL FENCE SOUTH

A1200 Scale: 1/4" = 1'-0"



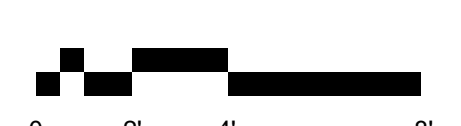
2 ENLARGED SITE PLAN - ORNAMENTAL FENCE WEST

A1200 Scale: 1/4" = 1'-0"



4 ENLARGED SITE PLAN - ORNAMENTAL FENCE NORTH WEST

A1200 Scale: 1/4" = 1'-0"



GATE SCHEDULE											
DOOR No.	TYPE	MAT	FINISH	WIDTH	HEIGHT	HARDWARE	PANIC	SIGNAGE	DETAIL	REMARKS	DOOR No.
1	AA			7'-0"	8'-9"		Yes		16/A8001		1
2	BB			3'-6"	8'-4"		Yes		17/A8001		2
3	AA			7'-0"	8'-9"		Yes		16/A8001		3
4	AA			7'-0"	8'-9"		Yes		16/A8001		4

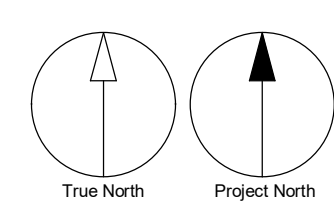
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PE: _____
SENIOR TECH. MGR.: _____
DRAWN BY: _____ AO
SCALE: _____ As Indicated
DATE: _____ 04/22/21
JOB NO.: _____ 116535
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SITE ENLARGED PLAN -
ORNAMENTAL FENCE

SHEET NO.:

A1200



ATTACHMENT C Design Plan

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1000-GENERAL NOTES

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2. BOLLARDS SHALL BE SPACED EQUIDISTANTLY SO THAT THE CLEAR DISTANCE BETWEEN BOLLARDS DOES NOT EXCEED 40". CENTER OF BOLLARD SHALL BE NO MORE THAN 24" FROM CURB LINE AND INSTALLED SUCH THAT THE TOP SURFACE IS LEVEL.
3. MAINTAIN 3'-0" CLEAR AROUND ALL (E) FIRE HYDRANTS, TYP.

1100 - KEYNOTES

- 1201 STAINLESS STEEL BOLLARD
- 1202 STAINLESS STEEL REMOVABLE BOLLARD
- 1203 (E) PLANTER
- 1204 (E) FIRE HYDRANT. MAINTAIN 3'-0" CLEAR AROUND
- 1205 (E) CURB LINE
- 1206 RELOCATED (E) PLANTER. SPACE AT 40" CLR. MAX. 18" FROM CURB LINE
- 1213 (E) SIGNAGE. REMOVE AND REPLACE AS REQUIRED FOR NEW WORK
- 1218 (E) CONCRETE CURB

LEGEND

- ORNAMENTAL FENCE
- PROPERTY LINE
- FIRE DEPARTMENT ACCESS, WIDTH 20'-0"
- STAINLESS STEEL BOLLARD, SEE DETAIL S/A8002
- REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 7/A8002
- REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 13/A8002
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- PATCH AND REPAIR CONCRETE WALK TO NEAREST JOINT, SEE DETAIL 11/A8002
- NATIVE SOIL BACKFILL OF CONDUIT TRENCH, SEE DETAIL 16/A8002
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PROJECT HEADQUARTERS BUILDING EXTERIOR PHYSICAL SECURITY IMPROVEMENTS

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APPROVAL SHEET NO.:

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LOS ANGELES, CA 90012

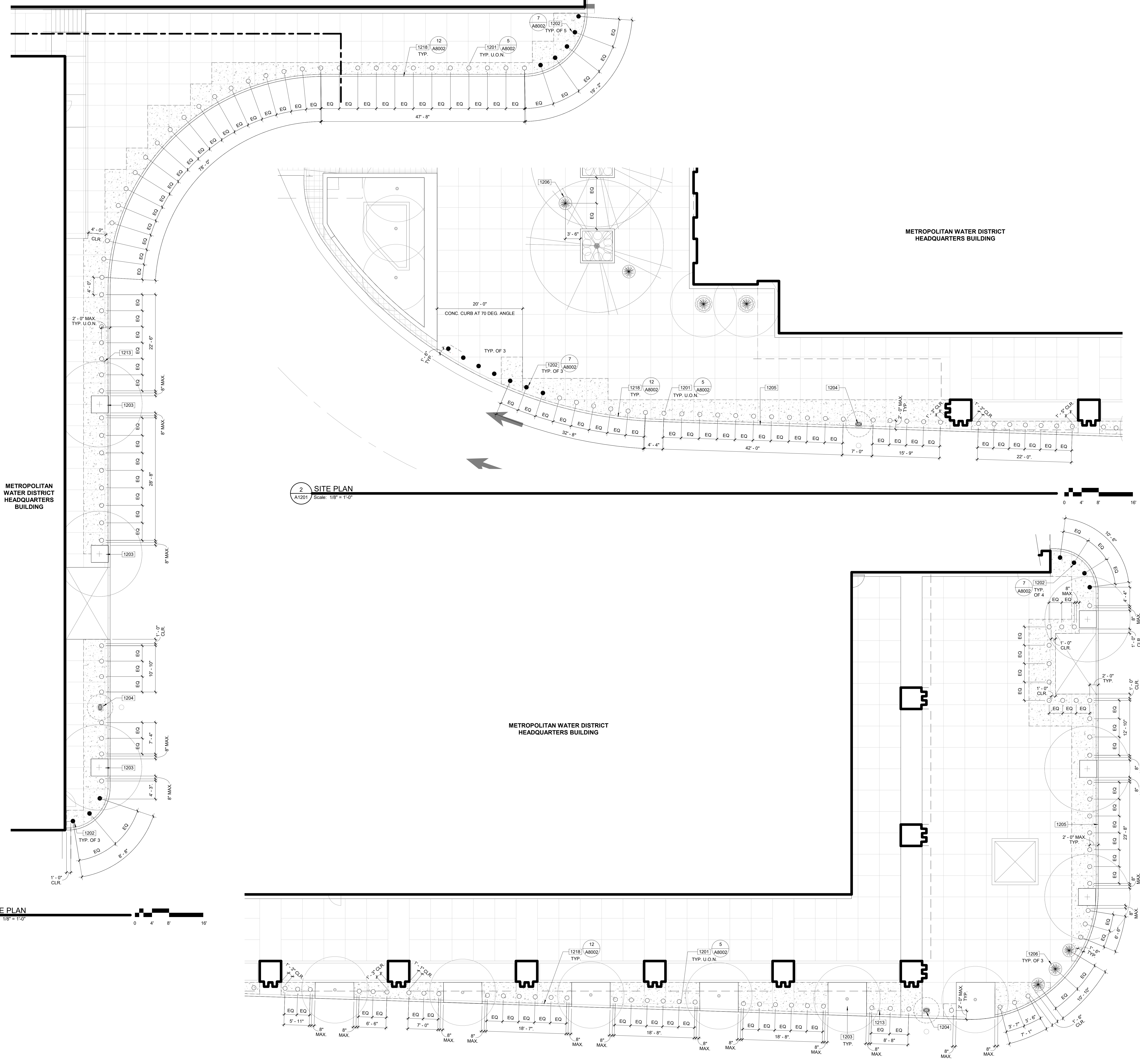
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PM:	ARCHITECTURAL
SENIOR TECH. MGR.:	AO
DRAWN BY:	As Indicated
DATE:	04/22/21
JOB NO.:	116535
SHEET TITLE:	ENLARGED SITE PLANS - PHYSICAL SECURITY

SHEET NO.:

A1201

CONFIDENTIAL METROPOLITAN INFORMATION



1 SITE PLAN
A1201 Scale: 1/8" = 1'-0"
0 4' 8' 16'

2 SITE PLAN
A1201 Scale: 1/8" = 1'-0"
0 4' 8' 16'

3 SITE PLAN
A1201 Scale: 1/8" = 1'-0"
0 4' 8' 16'

ATTACHMENT C Design Plan

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**NOT FOR
CONSTRUCTION**

PROJECT
**HEADQUARTERS
BUILDING
EXTERIOR
PHYSICAL
SECURITY
IMPROVEMENTS**

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700 N. ALAMEDA ST.
LOS ANGELES, CA 90012

REVISIONS:

DELTA	TITLE	DATE	BY
150%	CHECKSET	MARCH 2021	IBI

PM:	ARCHITECTURAL
PE:	
SENIOR TECH. MGR.:	AO
DRAWN BY:	As Indicated
SCALE:	04/22/21
DATE:	116535
JOB NO.:	
SHEET TITLE:	

ENLARGED SITE PLANS -
PHYSICAL SECURITY

SHEET NO.:

A1202

1000-GENERAL NOTES

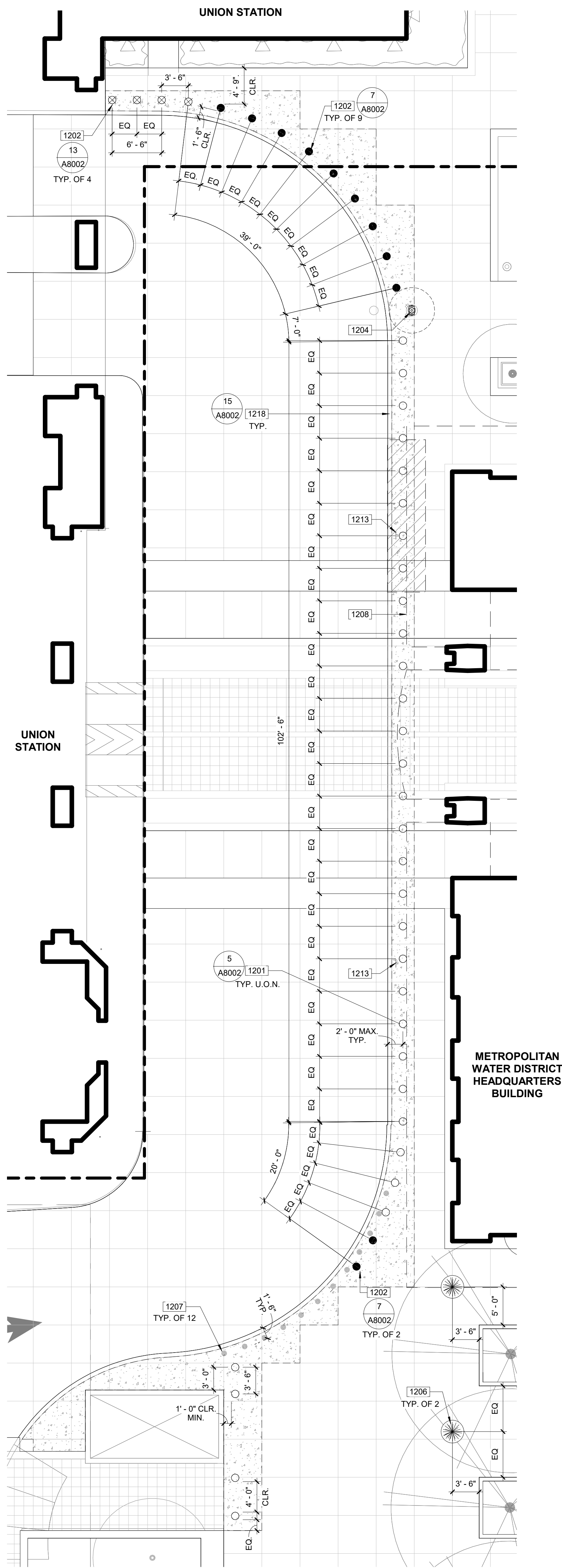
- PRIOR TO ANY UNDERGROUND SITE WORK, VERIFY LOCATION OF ALL EXISTING UTILITIES WITH UNDERGROUND SERVICE ALERT.
- BOLLARDS SHALL BE SPACED EQUIDISTANTLY SO THAT THE CLEAR DISTANCE BETWEEN BOLLARDS DOES NOT EXCEED 40". CENTER OF BOLLARD SHALL BE NO MORE THAN 24" FROM CURB LINE AND INSTALLED SUCH THAT THE TOP SURFACE IS LEVEL.
- MAINTAIN 3'-0" CLEAR AROUND ALL (E) FIRE HYDRANTS, TYP.

1100 - KEYNOTES

- | | |
|------|------------------------------------------------------------------|
| 1201 | STAINLESS STEEL BOLLARD |
| 1202 | STAINLESS STEEL REMOVABLE BOLLARD |
| 1204 | (E) FIRE HYDRANT, MAINTAIN 3'-0" CLEAR AROUND |
| 1206 | RELOCATED (E) PLANTER, SPACE AT 40" CLR. MAX. 18" FROM CURB LINE |
| 1207 | (E) LANE MARKER |
| 1208 | (E) CANOPY ABOVE |
| 1213 | (E) SIGNAGE, REMOVE AND REPLACE AS REQUIRED FOR NEW WORK |
| 1218 | (E) CONCRETE CURB |

LEGEND

- | | |
|-------|----------------------------------------------------------------------|
| ----- | ORNAMENTAL FENCE |
| ----- | PROPERTY LINE |
| ----- | FIRE DEPARTMENT ACCESS, WIDTH 20'-0" |
| o | STAINLESS STEEL BOLLARD, SEE DETAIL 5/A8002 |
| • | REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 7/A8002 |
| • | REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 13/A8002 |
| • | (E) RELOCATED PLANTER |
| □ | PATCH AND REPAIR CONCRETE WALK TO NEAREST JOINT, SEE DETAIL 11/A8002 |
| □ | NATIVE SOIL BACKFILL OF CONDUIT TRENCH, SEE DETAIL 16/A8002 |
| ○ | 60" DIA. ACCESSIBLE FLOOR SPACE LOCATION |
| □ | 30" X 48" ACCESSIBLE FLOOR SPACE LOCATION |
| □ | 60" X 60" ACCESSIBLE FLOOR SPACE LOCATION |

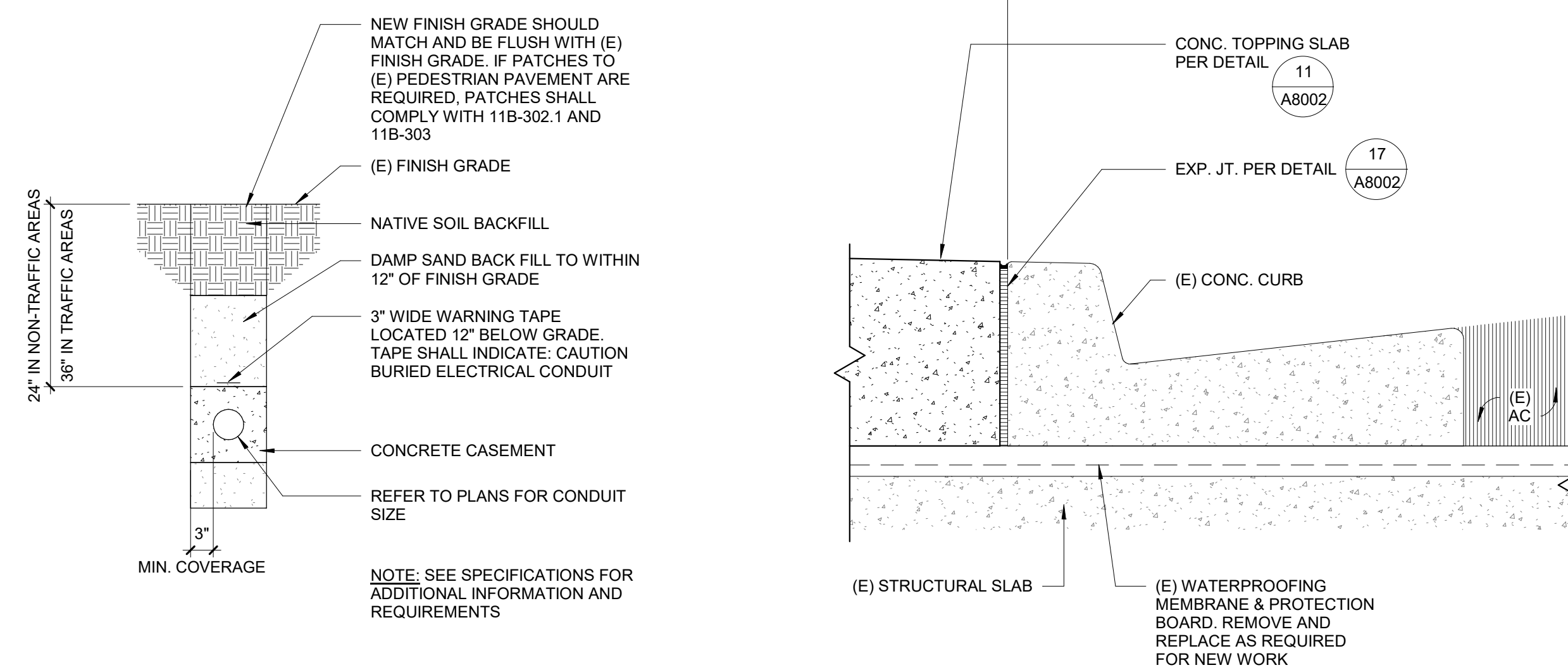


1 SITE PLAN
A1202 Scale: 1/8" = 1'-0"

CONFIDENTIAL METROPOLITAN INFORMATION

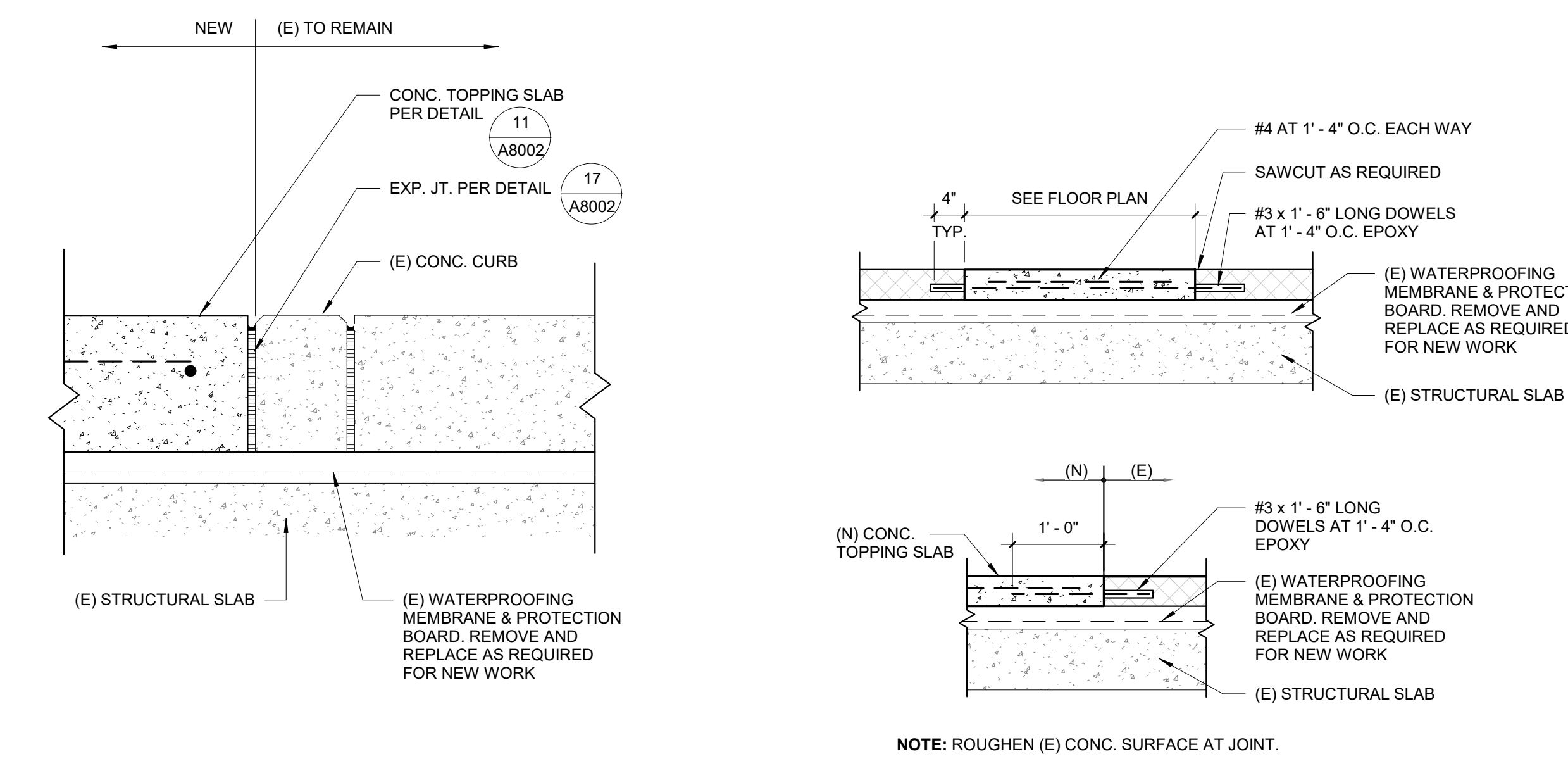
ATTACHMENT C

Design Plan



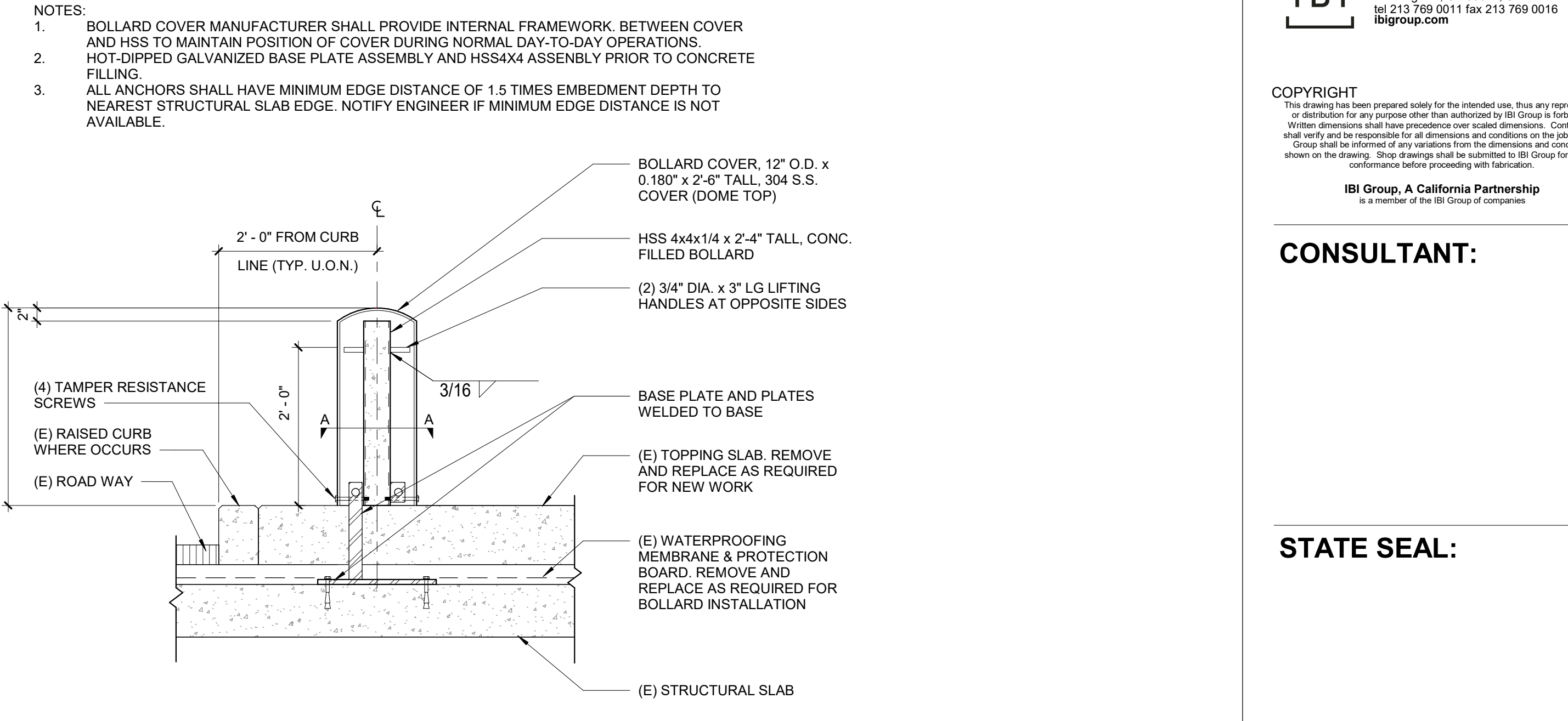
16 ELEC CONDUIT DUCT BANK
Scale: 3/4" = 1'-0"

12 WALK - CONCRETE - CURB & GUTTER
Scale: 1 1/2" = 1'-0"

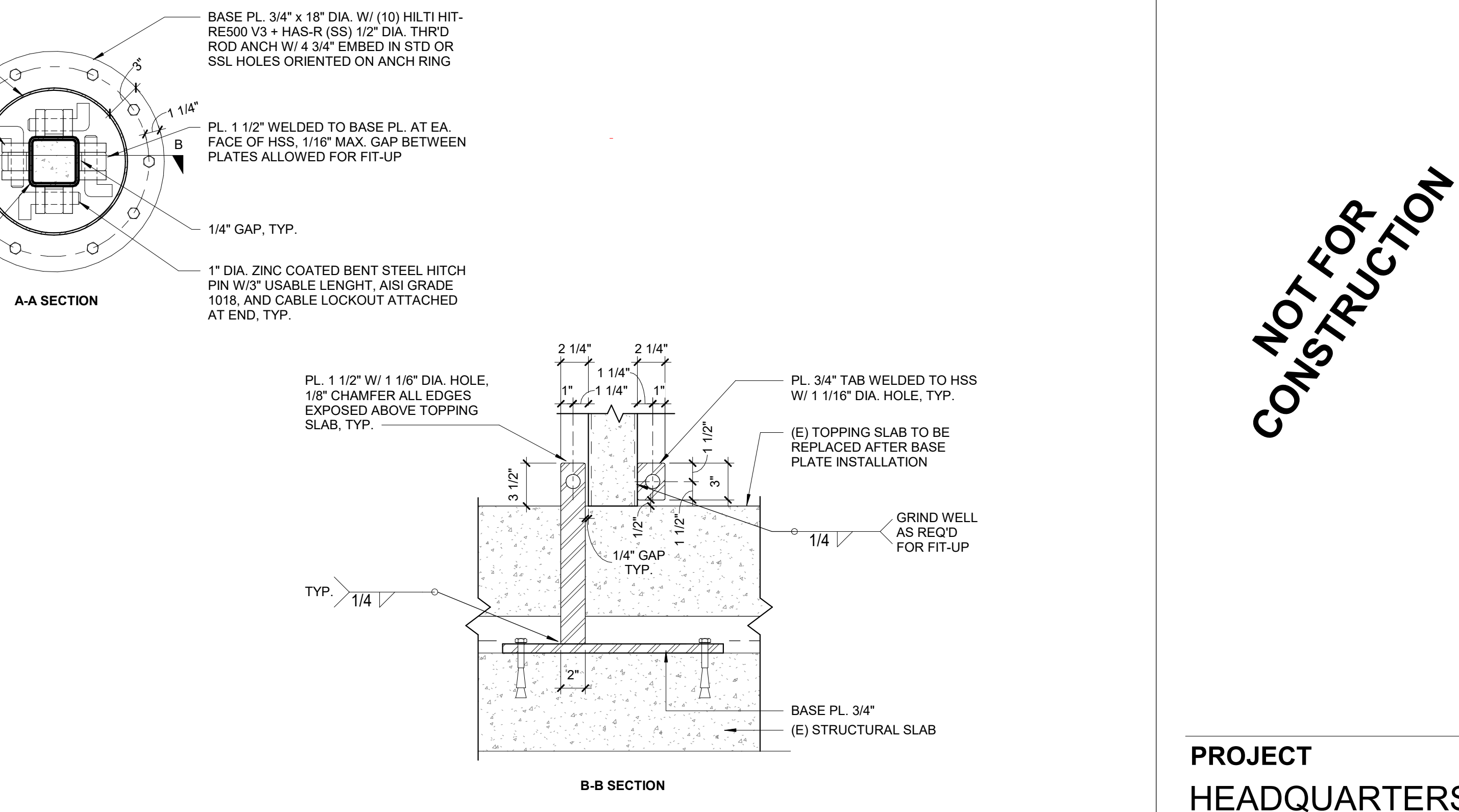


15 WALK - CONCRETE - FLUSHED CURB
Scale: 1 1/2" = 1'-0"

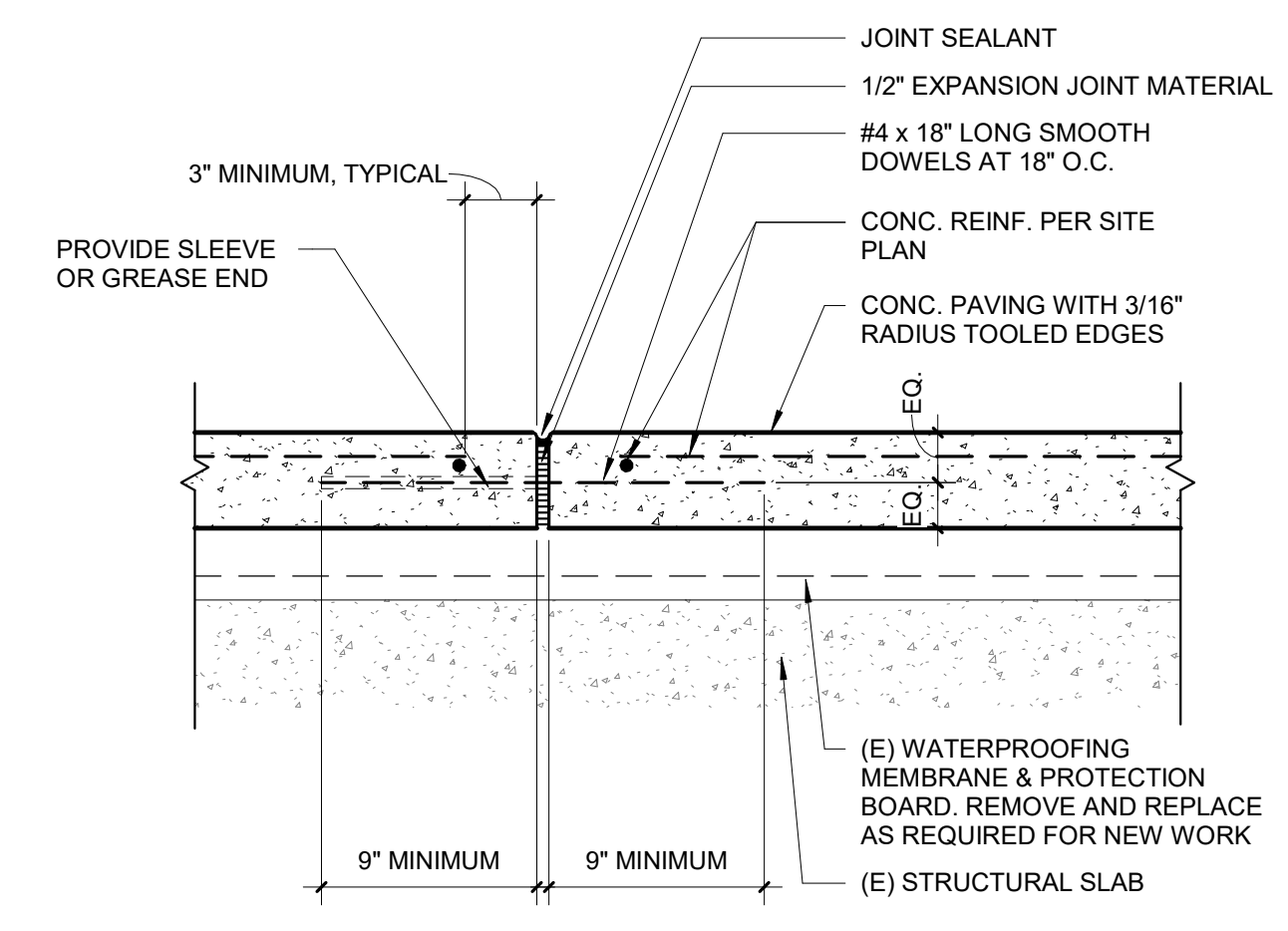
11 WALK - TYP. SLAB REPAIR
Scale: 3/4" = 1'-0"



7 BOLLARD - REMOVABLE
Scale: 3/4" = 1'-0"



5 BOLLARD - FIXED
Scale: 3/4" = 1'-0"



17 WALK - EXPANSION JOINT
Scale: 1 1/2" = 1'-0"

13 BOLLARD - REMOVABLE
Scale: 1 1/2" = 1'-0"

PENDING DETAIL COORDINATION

NOTES:

- BOLLARD COVER MANUFACTURER SHALL PROVIDE INTERNAL FRAMEWORK BETWEEN COVER AND HSS TO MAINTAIN POSITION OF COVER DURING NORMAL DAY-TO-DAY OPERATIONS.
- HOT-DIPPED GALVANIZED BASE PLATE ASSEMBLY AND HSS/SSM ASSEMBLY PRIOR TO CONCRETE FILLING.
- ALL ANCHORS SHALL HAVE MINIMUM EDGE DISTANCE OF 1.5 TIMES EMBEDMENT DEPTH TO NEAREST STRUCTURAL SLAB EDGE. NOTIFY ENGINEER IF MINIMUM EDGE DISTANCE IS NOT AVAILABLE.

REVISIONS:

DELTA	TITLE	DATE	BY

PM: ARCHITECTURAL
PE: SENIOR TECH. MGR.:
DRAWN BY: Author
SCALE: As Indicated
DATE: 04/22/21
JOB NO.: 116535
SHEET TITLE:

DETAILS

SHEET NO.:

ATTACHMENT D - Proposed Easement Map

HISTORICAL MONUMENTS:

- ◆ = MONUMENT IN MEMORY OF THE GABRIELENO MISSION INDIANS THAT INHABITED THE PUEBLO OF LOS ANGELES. DEDICATED ON DECEMBER 20, 1998.
- ◆ = MONUMENT HONORING THE LIVES LOST ON JUNE 24, 1971, IN A TUNNEL EXPLOSION TAKING SEVENTEEN LIVES. ONE METROPOLITAN EMPLOYEE AND SIXTEEN EMPLOYEES FROM LOCKHEED.
- ◆ = A BRICK LINE DEPICTING THE OLD CHINATOWN BOUNDARY FROM 1887.

MWD CONTROL POINTS:

- 23859 LEAD AND TAG, STAMPED "LS 5113", FLUSH IN CONCRETE, PER R.S.B. 166/041 AND JOB NUMBER 98-350.
N= 1842570.49
E= 6490032.59
- 23868 1-1/2" IRON PIPE WITH TAG IN CONCRETE, STAMPED "LS 5113", IN DIRT, PER R.S.B. 166/041 AND JOB NUMBER 98-350.
N= 1842686.40
E= 6490053.46

NOTES:

1. THIS MAP REPRESENTS DATA OBTAINED FROM A FIELD SURVEY PERFORMED BY MWD PERSONNEL IN JULY 2020, USING 3D SCAN SURVEYING METHODS. MWD SURVEY JOB NUMBER 20-095, MWDFB 2601-01/105-108.
2. HORIZONTAL CONTROL FOR THIS TOPOGRAPHIC MAP IS BASED UPON THE CALIFORNIA COORDINATE SYSTEM, NAD83 ZONE 5 (1991.35 EPOCH), MWD SURVEY JOB NUMBER 98-350.

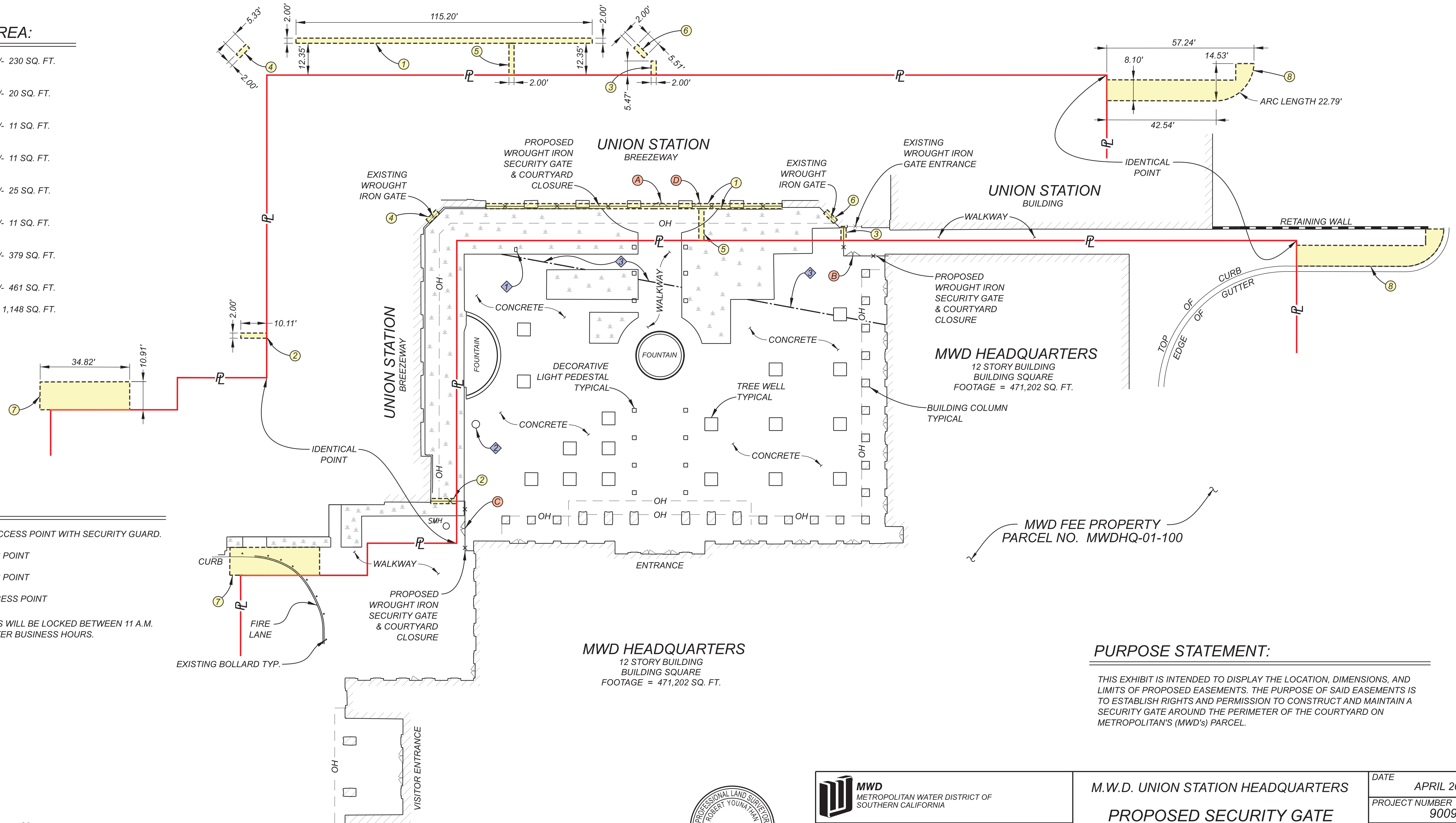
LEGEND:

- OH — CANOPY / OVERHANG
- X — EXISTING GATE
- P — PROPERTY LINE
- PROPOSED EASEMENTS
- X — PROPOSED SECURITY GATE & COURTYARD CLOSURE
- /// BUILDING / STRUCTURE
- LANDSCAPED AREA
- DOOR / GATE
- SMH SEWER MANHOLE

ACQUISITION AREA:

- ① CONSTRUCTION = +/- 230 SQ. FT.
 - ② CONSTRUCTION = +/- 20 SQ. FT.
 - ③ CONSTRUCTION = +/- 11 SQ. FT.
 - ④ CONSTRUCTION = +/- 11 SQ. FT.
 - ⑤ CONSTRUCTION = +/- 25 SQ. FT.
 - ⑥ CONSTRUCTION = +/- 11 SQ. FT.
 - ⑦ CONSTRUCTION = +/- 379 SQ. FT.
 - ⑧ CONSTRUCTION = +/- 461 SQ. FT.
- TOTAL = +/- 1,148 SQ. FT.

DETAIL OF PROPOSED EASEMENTS



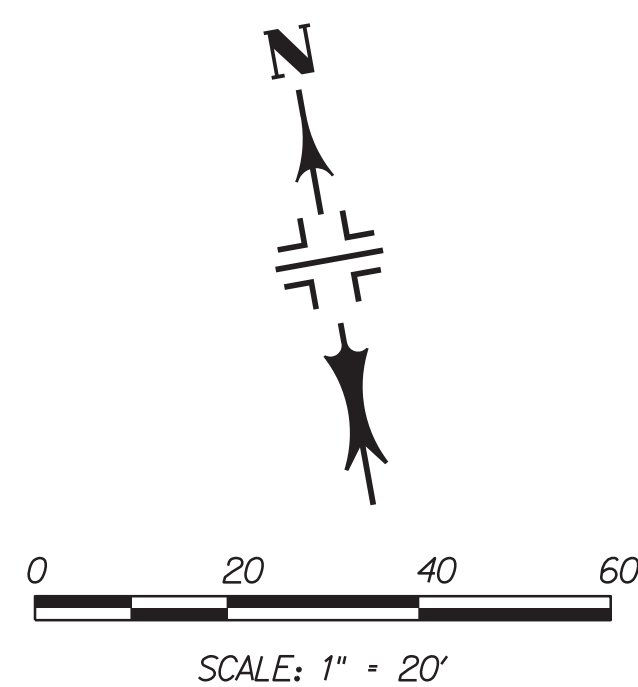
GATE ACCESS:

- Ⓐ = ENTRY AND EXIT ACCESS POINT WITH SECURITY GUARD.
- Ⓑ = EXIT ONLY ACCESS POINT
- Ⓒ = EXIT ONLY ACCESS POINT
- Ⓓ = AFTER HOURS ACCESS POINT

NOTE: ALL ACCESS POINTS WILL BE LOCKED BETWEEN 11 A.M. AND 2 P.M. DAILY, AND AFTER BUSINESS HOURS.

PURPOSE STATEMENT:

THIS EXHIBIT IS INTENDED TO DISPLAY THE LOCATION, DIMENSIONS, AND LIMITS OF PROPOSED EASEMENTS. THE PURPOSE OF SAID EASEMENTS IS TO ESTABLISH RIGHTS AND PERMISSION TO CONSTRUCT AND MAINTAIN A SECURITY GATE AROUND THE PERIMETER OF THE COURTYARD ON METROPOLITAN'S (MWD'S) PARCEL.



MWD METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA		
SURVEYED	VERTICAL DATUM	SURVEY JOB NUMBER
MS, EM	N/A	20-111
DRAWN	HORIZONTAL DATUM (EPOCH)	CCS ZONE
RDY	NAD83 (1991.35)	5
CHECKED	LATITUDE	LONGITUDE
NDE	34.055411	-118.236214

M.W.D. UNION STATION HEADQUARTERS	
PROPOSED SECURITY GATE IMPROVEMENTS	
EXHIBIT MAP	

DATE	APRIL 2021
PROJECT NUMBER	900986
SHEET	1 OF 1
DWG	B-171000
REV	6